



PLANNING COMMISSION MEETING

Site Visit: 576 N Mill Rd, Vineyard, UT @ 5:30 PM

Public Hearing and Regular Meeting: Vineyard Town Hall, 240 East Gammon Road, 6:00 PM

Wednesday, March 7, 2018

PUBLIC NOTICE is hereby given that the Planning Commission of Vineyard, Utah, will hold a site visit, public hearing and regular planning commission meeting, on Wednesday, March 7, 2018. The site visits will begin at 5:30 p.m. at the addresses noted above. The public hearing and regular meeting will begin at 6:00 p.m. or shortly thereafter. The agenda will consist of the following:

1. CALL TO ORDER

2. INVOCATION/INSPIRATIONAL THOUGHTS/PLEDGE OF ALLEGIANCE

3. OPEN SESSION

"Open Session" is defined as time set aside for citizens to express their views for items not on the agenda. Each speaker is limited to three (3) minutes. Because of the need for proper public notice, immediate action cannot be taken in the Planning Commission Meeting. If action is necessary, the item will be listed on a following agenda. However, the Planning Commission may elect to discuss the item if it is an immediate matter of concern.

4. MINUTES REVIEW AND APPROVAL

None

5. BUSINESS ITEMS:

5.1 Holdaway Cove Preliminary Plat

The applicant is proposing to subdivide an existing lot of 3 acres into seven (7) individual lots. The subject property is located at 220 S. Holdaway Rd. and is within the R-2-15 zoning district.

5.2 Waters Edge Hamptons Preliminary Plat

The applicant is proposing an amended preliminary subdivision plat to accommodate the proposed church parcel of the Water's Edge Hamptons development. The proposed development consists of a total 93 SFD lots and 1 parcel for a church, located at 300 West and 200 North.

5.3 Waters Edge James Bay Preliminary Plat

The applicant, Flagship Homes, is resubmitting a preliminary plat application for the James Bay subdivision within Waters Edge. The subject property is located south of 400 North and immediately adjacent to the Utah Lake. The plat indicates that there are 28 buildable lots on approximately 21.47 acres with 2.48 acres of open space.

5.4 Lakeview Holdings South Site Plan

Joel Pilling, Lakeview Holdings South, is proposing two warehouse/office buildings located within the Manufacturing District.

5.5 Mill Town Building C & D Site Plan

The Milltown Commercial Project comprises 11.86 acres west of the Megaplex Theater, south of the Forge Mixed-Use Development (650 North), north of the 20-acre parcel owned by Anderson Geneva and is bordered by Mill Road to the west. This proposal is a request for site plan and building design approval of buildings C and D on the parcel east of the roundabout.

5.6 Public Hearing and Consideration – Chapter 15.12 and 15.34 Zoning Text Amendment

The City is proposing text amendments to the Vineyard Zoning Ordinance, including:

Section 15.12.050 District Use Table - adding Drive-Thru Facilities as a permitted use in the RMU, FMU, RC and M Districts with reference to table note 7 which reference Section 15.34.190, Drive-Thru Facilities. Including requirements to obtain a Conditional Use Permit for Drive-Thru Facilities with drive aisle located between the building front façade and front property line.

Section 15.34.190 Drive-Thru Facilities - to provide building design standards for material, fenestration and building located on street corners; amending residential distance requirements, providing an exception for drive aisles to be located between the front façade and front property line, establishing drive aisle dimensions, providing requirements for screening and landscaping, restricting placement of menu boards, providing walkway requirements, and establishing zoning graphics to illustrate standards.

6. COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION DISCLOSURE

7. STAFF REPORTS

- Morgan Brim, Planning Director
 - Tree Manual
- Don Overson, Town Engineer

8. ADJOURNMENT

The next regularly scheduled meeting is March 21, 2018.

This meeting may be held electronically to allow a commissioner to participate by teleconference.

The Public is invited to participate in all Planning Commission meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify Elizabeth Hart, Planner, at least 24 hours prior to the meeting by calling (801) 226-1929.

The foregoing notice and agenda was emailed to the Salt Lake Tribune and Daily Herald, posted on the Utah Public Notice Website and Vineyard Website, posted at the Vineyard City Offices and City Hall, delivered electronically to city staff and each member of the planning commission.

AGENDA NOTICING COMPLETED ON: March 6, 2018

NOTICED BY: /s/ Elizabeth Hart

Elizabeth Hart, Planner



Community Development

Date: March 7, 2018
From: Elizabeth Hart, Planner
To: Planning Commission
Item: Preliminary Subdivision Plat Holdaway Cove
Address: 220 S. Holdaway Rd.
Applicant(s): Steve Wilson

INTRODUCTION:

The applicant is request approval for a preliminary subdivision plat. The applicants are proposing to subdivide an existing lot of 3 acres into seven (7) individual lots. The subject property is located at 220 S. Holdaway Rd. and is within the R-2-15 zoning district.

ANALYSIS:

The R-2-15 zoning district is provided to maintain and allow opportunities for average sized lots of single-family and two-family residential.

Section 15.12.060: Dimensional Standards Table for Zone R-2-15			
Category	Standard	Comments	Conformance
Minimum Lot Size	15,000 sf	Lot 1: 17,060 sf	YES
		Lot 2: 16,891 sf	
		Lot 3: 17,261 sf	
		Lot 4: 18,014 sf	
		Lot 5: 15,055 sf	
		Lot 6: 15,000 sf	
		Lot 7: 15,021 sf	
Minimum Lot Width	100 ft	Lot 1: ~130 ft	YES
		Lot 2: ~168 ft	
		Lot 3: ~110 ft	
		Lot 4: ~110 ft	
		Lot 5: ~140 ft	
		Lot 6: ~130 ft	
		Lot 7: ~102 ft	
Minimum Front Yard	20 ft		YES
Minimum Side Yard (interior lots)	Total of at least 20ft between the two side yards, with no side yard of less than 8 ft		YES
Minimum Side Yard (corner lots)	20 ft		YES
Minimum Rear Yard	20ft		YES

Section 15.32.180: Lot Frontage Required			
Category	Standard	Comments	Conformance
Lot Frontage	The required lot frontage shall not be less than the minimum lot width requirement as measured at the minimum front, as required by the Zoning District in which the lot is located, except for lots which front upon a curve or cul-de-sac, the distance may be reduced to not less than fifty (50) feet provided that the side lot lines radiate in such a manner that the width of the lot at the minimum setback line is not less than the minimum requirement of the Zoning District	Lot 3: ~65 ft (cul-de-sac)	YES
		Lot 4: ~64 ft (cul-de-sac)	

FINDING:

With the proposed conditions, the preliminary plat is in conformance with the standards and requirements set forth in the zoning ordinance.

RECOMMENDATION:

Staff recommends the Planning Commission recommend approval of the preliminary plat to the city council with the proposed conditions.

PROPOSED MOTION:

I move to recommend approval to the city council of the Holdaway Cove Preliminary Plat with the proposed conditions:

1. The applicant pays any outstanding fees and makes any redline corrections
2. The forthcoming final plat be in conformance with this preliminary plat
3. The applicant is subject to all local, state, and federal laws

ATTACHEMENTS:

Application
Preliminary Plat



PRELIMINARY SUBDIVISION APPLICATION

Please Note: Attachment of request specific documents is required prior to processing your application.

APPLICATION DATE: 1-25-18 Application Fee: \$1,973.40 \$1,930.00 + 6.20 per lot

APPLICANT(S): Steve Wilson, Brandon Wilson

ADDRESS OF APPLICANT: 2050 N. 300 W. Spanish Fork, UT
84660

BUSINESS PHONE #: 801-360-9153 CELL PHONE #: 801-592-9107
steve.wilson@msn.com

EMAIL ADDRESS: Brandon@Wilsonexcavation.net FAX NUMBER: _____

CURRENT ZONING DISTRICT DESIGNATION: R-2-15

NUMBER OF PROPOSED NEW LOTS: 7

LOCATION/ADDRESS OF PROPOSED FINAL SUBDIVISION: 220 S. Holdaway Rd.
Vineyard, UT 84058

TOTAL ACREAGE OF PROPOSED FINAL SUBDIVISION: 3.003

NAME OF PROPERTY OWNER(S): Glade Holdaway

SIGNATURE OF APPLICANT(S):

Signature

Steven M. Wilson

Print name

1-25-18

DATE

OFFICE USE ONLY			
DATE RECEIVED		DATE OF APPROVALS	
Initial Submittal 1/19/2018	Complete Submittal 1/25/2018	Planning Commission	Town Council
Type of Request Preliminary Sub-Application	Staff Comments: \$1,930.00 + \$0.20/lot (7 lots)		
PAYMENT INFORMATION			
Amount Due \$1,973.40	Date Paid 1/25/2018	Amount Paid \$1,973.40	Check # 3204

-Kasee Levent

PROPERTY OWNER AFFIDAVIT

STATE OF UTAH }
 }ss
COUNTY OF UTAH}

I, the undersigned, _____, as owner(s) of the property identified in the attached application, depose that the statements herein contained in this application and the information provided in the attached plans and exhibits are in all respects true and correct to the best of my knowledge.

(Property Owner)

(Property Owner)

Subscribed and sworn before me, _____, a Notary Public, on this _____ day of _____, 20_____.

(Notary Public)

My commission expires: _____

AGENT AUTHORIZATION AFFIDAVIT

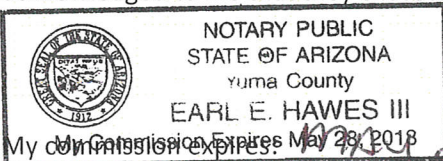
I, the undersigned, Glade Holdaway, as owner(s) of the real property described in the attached application, do authorize the following: Steve Wilson and for Brandon Wilson, as agent(s) and designated representative(s) regarding the attached application, to appear on my behalf before any administrative or legislative body in the Town of Vineyard considering this application, and to act in all respects as agent(s) in matters pertaining to the attached application.

Glade Holdaway
(Property Owner)

Glade Holdaway
(Property Owner)

Dated this 23rd day of January, 2018, personally appeared before me,

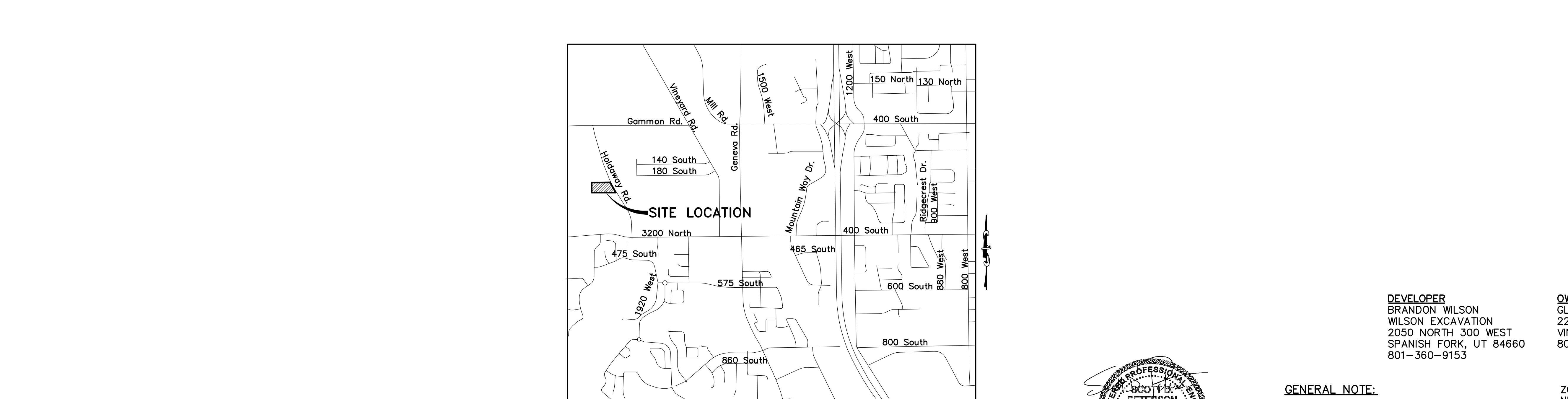
GLADE Holdaway, the signer(s) of the agent authorization who duly acknowledged to me that they executed the same.



Earl E. Hawes III
(Notary Public)

-SHEET INDEX-

-SHEET INDEX-	
<i>SHEET</i>	<i>SHEET NAME</i>
1	COVER
2	PRELIMINARY PLAT
3	UTILITY PLAN
4	EXISTING TOPOGRAPHY
5	GRADING PLAN
PP-01	PLAN AND PROFILE — STREET 1 — STA. 10+00 TO STA. 14+41.06
DT-01	DETAIL SHEET
EC-01	EROSION CONTROL



VICINITY MAP
-NTS-



Sub\CADD\PRELIMINARY\01-COVER.dwg 12/21/2017 2:51:46 PM MST

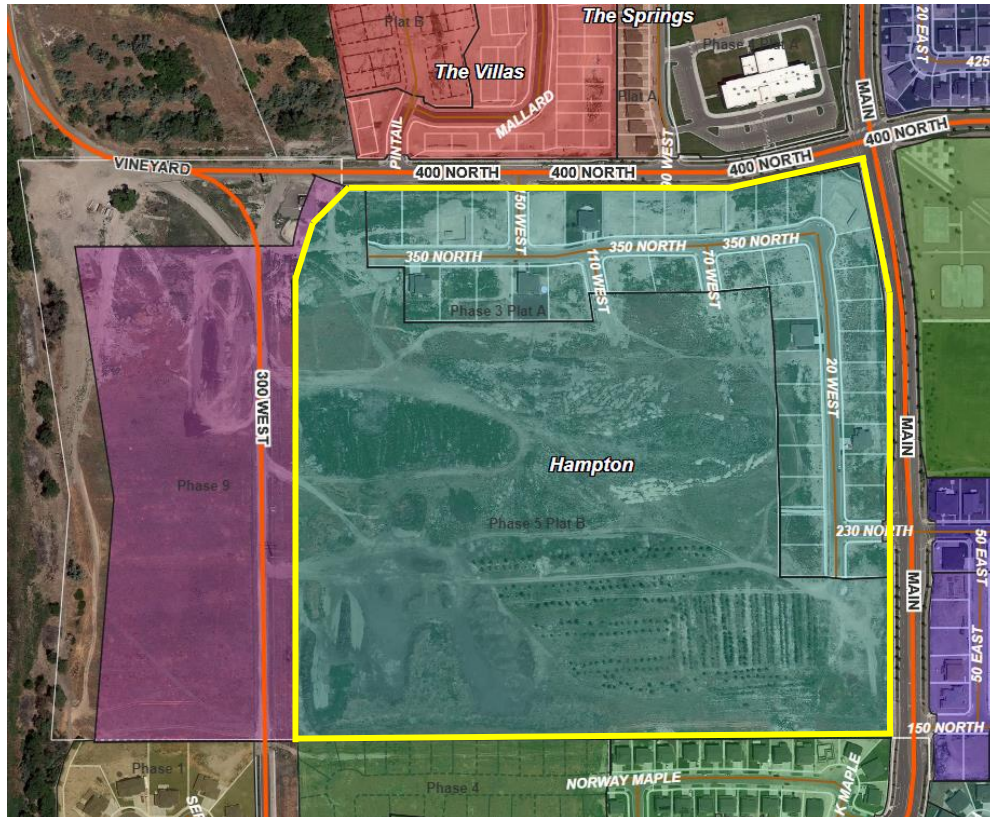
800 South

VICINITY MAP
-NTS-


GENERAL NOTE:
 ALL CONSTRUCTION SHALL CONFORM TO THE
 APPROVED CITY OF VINEYARD DEVELOPMENT AND
 CONSTRUCTION STANDARDS AND PERTINENT
 ORDINANCES.

Community Development

Date: March 7, 2018
From: Elizabeth Hart, Planner
To: Planning Commission
Item: Hamptons Preliminary Subdivision Plat
Address: 300 West 200 North
Applicant: Flagship Development Inc.



INTRODUCTION:

The applicant is proposing an amended preliminary subdivision plat to accommodate the proposed church parcel of the Water's Edge Hamptons development. The plat consists of a total 93 SFD lots and 1 parcel for a church, located at 300 West and 200 North.

ANALYSIS:

The zoning differs between area A and area B; area A is part of the 10,000 SFD zone, while area B is part of the 15,000 SFD zone. The church parcel is part of Area B and is 167,084 SF/ 3.08 acres. Area A has 49 lots and Area B has 45 lots (includes church parcel). The plat shows the lots for the Hamptons Plat A, which has been recorded. Staff has been working with the applicant to verify that the lots of Plat A have not changed in size from what was recorded.

Below is a summary of the zoning requirements for each zone:

REQUIREMENT	Area A SFD 10,000	Area B SFD 15,000	COMPLIANCE	
			Area A	Area B
Minimum Lot Area	10,000'	15,000'	Avg. Lot size is 11,441 SF	Avg. Lot Size is 15,651 SF
Minimum Width at the Front Setback	85'	90'	Yes	Yes
Minimum Width at the Front Setback (Corner Lots)	95'	100'	Yes	Yes
Minimum Width at the Front Setback (Cul-de-sac Lots)	80'		N/A	Yes
Minimum Front Yard Depth	20'		Yes	Yes
Minimum Rear Yard Depth	20'		Yes	Yes
Minimum Side Yard Depth for Interior Lots	8', 18' total side yard		Yes	Yes
Minimum Side Yard Depth for Corner Lots	20'		Yes	Yes
Minimum Depth of Any Lot	100'		Yes	Yes

TRAILS AND OPEN SPACE:

The site plan includes trail corridors that run east to west through the subdivision. Additionally, a five-foot (5') trail easement has been included adjacent to, and along, the church lot. The empty space located along 300 West of the plat has been designated as open space and a trail that is part of the James Bay subdivision plat.

FINDINGS:

With the proposed conditions, the proposed plat meets the following findings:

- It is in conformance with the Waters Edge zoning ordinance.

RECOMMENDATION: Staff recommends that the Planning Commission recommend approval of the Hamptons Phase 3 Preliminary Plat to the City Council with the listed conditions.

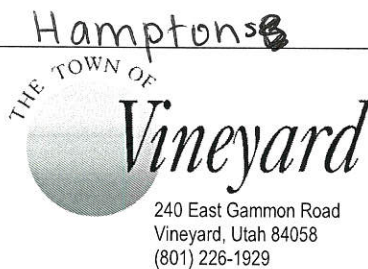
PROPOSED MOTION:

I move to recommend approval to the city council of the Hamptons Phase 3 Preliminary Plat with the proposed conditions:

1. The applicant pays any outstanding fees and makes any redline corrections
2. The forthcoming final plat be in conformance with this preliminary plat
3. The applicant is subject to all local, state, and federal laws

Attachments:

Preliminary Plat Application
Preliminary Plat



PRELIMINARY SUBDIVISION APPLICATION

Please Note: Attachment of request specific documents is required prior to processing your application.

APPLICATION DATE: 1/11/18

APPLICANT(S): Flagship Development Inc.

ADDRESS OF APPLICANT: 1250 E. 200 S. Ste. 1D Lehi UT 84043

BUSINESS PHONE #: 801-766-4442

CELL PHONE #: 435-218-5656

EMAIL ADDRESS: bronson@forsail.com

FAX NUMBER: 801-466-3337

CURRENT ZONING DISTRICT DESIGNATION: Waters Edge Zone

NUMBER OF PROPOSED NEW LOTS: 93

LOCATION/ADDRESS OF PROPOSED FINAL SUBDIVISION: ~ 300 W & 230 N.

TOTAL ACREAGE OF PROPOSED FINAL SUBDIVISION: _____

NAME OF PROPERTY OWNER(S): same as applicant

CHECK APPLICABLE PERMIT ATTACHMENT:

<input type="checkbox"/>	CONDITIONAL USE PERMIT	<input type="checkbox"/>	FINAL PLAT
<input type="checkbox"/>	GENERAL MAP/PLAT AMENDMENT	<input type="checkbox"/>	LAND DISTURBANCE PERMIT
<input type="checkbox"/>	MINOR PLAT AMENDMENT	<input type="checkbox"/>	PERMITTED USE SITE PLAN
<input checked="" type="checkbox"/>	PRELIMINARY SUBDIVISION	<input type="checkbox"/>	ROAD CUT PERMIT
<input type="checkbox"/>	TEMPORARY USE PERMIT	<input type="checkbox"/>	VARIANCE APPLICATION

SIGNATURE OF APPLICANT(S):

Rebecca Appion

Applicant Signature

1/11/18
Date

Co-Applicant Signature

1/1
Date

OFFICE USE ONLY			
DATE RECEIVED		DATE OF APPROVALS	
Initial Submittal	Complete Submittal	Planning Commission	Town Council
Type of Request	Staff Comments:		
PAYMENT INFORMATION			
Amount Due	Date Paid	Amount Paid	Check #

Only fully completed submittals may be accepted in office. If the submittal is incomplete in any way, it must be returned to the applicant.

PROPERTY OWNER AFFIDAVIT

STATE OF UTAH }

COUNTY OF UTAH}

I, the undersigned, Nathan Hart Chanson, as owner(s) of the property identified in the attached application, depose that the statements herein contained in this application and the information provided in the attached plans and exhibits are in all respects true and correct to the best of my knowledge.

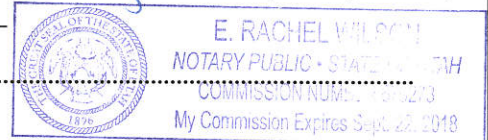
(Property Owner)

(Property Owner)

Subscribed and sworn before me, E. Rachel Wilson, a Notary
Public, on this 26 day of January, 20 18.

My commission expires: 9/22/2018

(Notary Public)



AGENT AUTHORIZATION AFFIDAVIT

I, the undersigned, _____, as owner(s) of the real property described in the attached application, do authorize the following:

_____, as agent(s) and designated representative(s) regarding the attached application, to appear on my behalf before any administrative or legislative body in the Town of Vineyard considering this application, and to act in all respects as agent(s) in matters pertaining to the attached application.

(Property Owner)

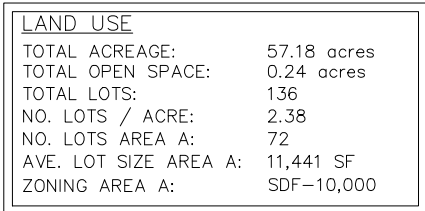
(Property Owner)

Dated this _____ day of _____, 20_____, personally appeared before me, _____, the signer(s) of the agent authorization who duly acknowledged to me that they executed the same.

(Notary Public)

My commission expires: _____

LOCATED IN THE NORTHEAST QUARTER OF
SECTION 18, TOWNSHIP 6 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN



NOTES:

- 1- THIS AREA HAS HISTORICALLY HAD A HIGH WATER TABLE, AND THE TOWN OF VINEYARD WILL HAVE NO LIABILITY FOR ANY DAMAGES DUE TO THE HIGH WATER TABLE. A LAND DRAIN FOR EACH LOT WILL BE REQUIRED AND MAINTAINED BY THE PROPERTY OWNER.
- 2- PROPERTY OWNERS SHOULD BE AWARE THAT THIS AREA IS LOCATED IN THE VICINITY OF A RAILROAD SYSTEM.
- 3- ALL ROADS TO BE DEDICATED TO THE TOWN OF VINEYARD.

DEVELOPER: FLAGSHIP HOMES
170 SOUTH INTERSTATE PLAZA, SUITE 250
LEHI, UT 84043 801-766-4442

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

ACCEPTANCE BY LEGISLATIVE BODY

_____ VINEYARD PLANNING COMMISSION CHAIR DATE: ____/____/____	_____ VINEYARD ATTORNEY DATE: ____/____/____
_____ VINEYARD ENGINEER DATE: ____/____/____	_____ CITY MANAGER DATE: ____/____/____
_____ CLERK/RECORDER DATE: ____/____/____	

I, TRAVIS TRANE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NO. 5152741, IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, A SURVEY WAS MADE UNDER MY DIRECTION OF THE TRACT OF LAND SHOWN AND DESCRIBED ON THIS DEDICATION PLAT, I CERTIFY THAT SAID SURVEY WAS COMPLETED IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, I FURTHER CERTIFY THAT I HAVE VERIFIED ALL MEASUREMENTS AND THAT MONUMENTS HAVE BEEN PLACED AS SHOWN ON THIS PLAT, I HEREBY STATE THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION, BELIEF AND IN MY PROFESSIONAL OPINION.

Commencing at a point which is South 143.75 feet West 143.13 feet along the Northeast Corner of Section 18, Township 6 South, Range 2 East, Salt Lake Base and Meridian: thence South 12'00"00" East 199.21 feet; thence southerly 268.37 feet along the arc of a 1449.00 foot radius curve to the right, the cord of which bears South 06°41'39" East 267.98 feet; thence South 01°23'18" East 301.54 feet along the arc of a 1449.00 foot radius curve to the right, the chord of which bears South 02°24'32" West 10.79 feet; thence South 61°23'23" West 77.52 feet; thence southerly 15.71 feet along the arc of a 118.50 foot radius curve to the left, the cord of which bears South 02°24'33" West 15.70 feet; thence South 01°23'18" East 100.91 feet; thence southerly 11.96 feet along the arc of a 7.50 foot radius curve to the right, the cord of which bears South 44°18'20" West 10.73 feet; thence South 89°59'57" West 2.18 feet; thence South 00°00'03" East 56.00 feet; thence South 89°59'57" West 2.18 feet; thence southerly 11.96 feet along the arc of a 7.50 foot radius curve to the right, the cord of which bears South 45°15'22" East 11.21 feet; thence South 00°00'24" East 502.78 feet; thence South 01°11'08" East 10.34 feet; thence South 89°59'55" West 164.73 feet; thence North 01°03'51" West 508.10 feet; thence North 759.39 feet; thence North 19°09'17" East 187.46 feet; thence North 79.03 feet; thence Easterly 75.33 feet along the arc of a 447.50 foot radius curve to the left, through a central angle of 09°38'39", the cord of which bears South 85°10'10" East 75.24 feet; thence South 89°59'30" East 459.27 feet; thence southerly 4.71 feet along the arc of a 3.50 foot radius curve to the right, the cord of which bears South 44°59'46" East 4.71 feet; thence North 89°59'30" East 459.27 feet; thence southerly 4.71 feet along the arc of a 3.50 foot radius curve to the right, the cord of which bears North 45°00'14" East 4.24 feet; thence South 89°59'30" East 484.95 feet; thence easterly 184.18 feet along the arc of a 797.50 foot radius curve to the left, the cord of which bears North 83°23'32" East 183.77 feet; thence North 76°46'33" East 35.58 feet; thence easterly 9.88 feet along the arc of a 74.50 foot radius curve to the right, the cord of which bears North 80°34'23" East 9.88 feet; thence North 84°22'14" East 77.52 feet; thence North 84.24 feet; thence North 80°34'23" East 9.88 feet; thence North 84°22'14" East 77.52 feet; thence North 80°34'23" East 16.62 feet; thence North 76°46'33" East 98.20 feet; thence Southeasterly 15.13 feet along the arc of a 9.50 foot radius curve to the right, the cord of which bears South 57°36'43" East 13.58 feet to the point of beginning.

Parcel contains: 57.18 acres more or less.

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, PARCELS AND STREETS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS WESTBROOK AT WATERS EDGE PLAT "D", AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNER(S) ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES.

IN WITNESS WHEREOF, WE HAVE HERE UNTO SET OUR HANDS THIS _____ DAY OF _____ A.D. 20 _____.

SIGNATURE _____ PRINT NAME _____ TITLE & ENTITY _____

SIGNATURE	PRINT NAME	TITLE & ENTITY
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STATE OF UTAH
COUNTY OF UTAH } S.S.
ON THIS THE _____ DAY OF _____, A.D. 20 _____,
PERSONALLY APPEARED BEFORE ME,

WHO BEING DULY SWORN OR AFFIRMED, DID SAY THAT HE/SHE/THEY SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

SHEET 1 OF 2

AMENDED PHASE 3 PRELIMINARY PLAT

WATER'S EDGE

RECORDING INFORMATION

VINEYARD, UTAH COUNTY, UTAH

SCALE: 1" = 80 FEET

NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL
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CLERK-RECORDED SEAL

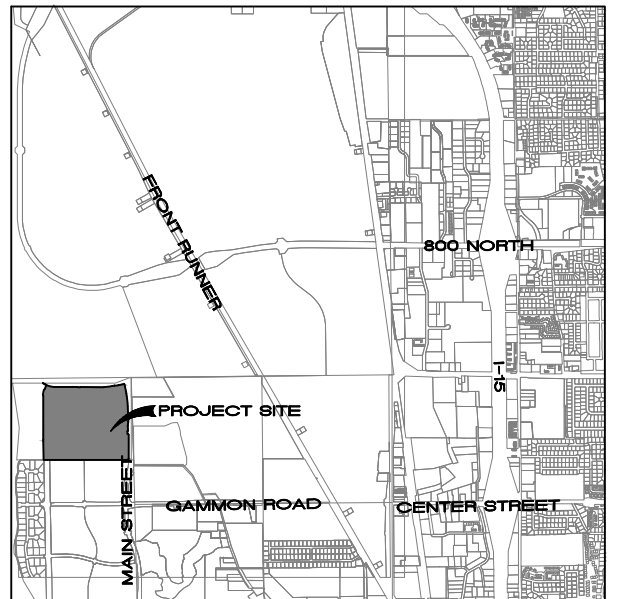
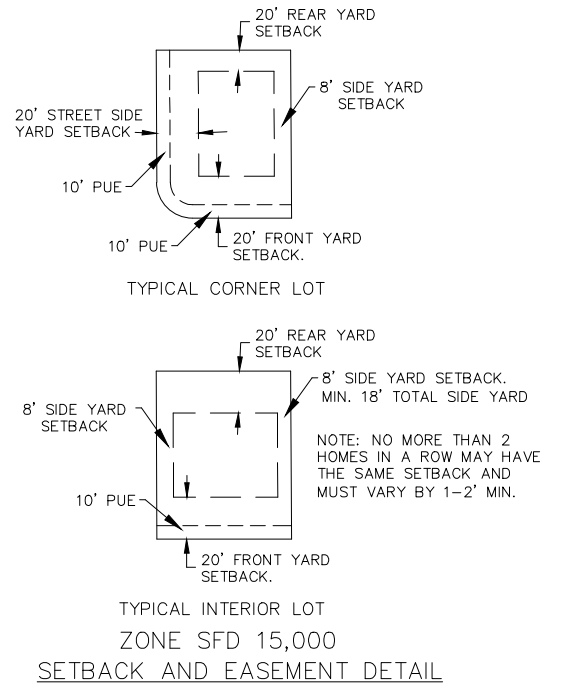
WATER'S EDGE AMENDED PHASE 3 PRELIMINARY PLAT

LOCATED IN THE NORTHEAST QUARTER OF
SECTION 18, TOWNSHIP 6 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN

AREA A



(24"x36")
SCALE: 1" = 80'
(11"x17")
SCALE: 1" = 160'



VICINITY MAP

SHEET 2 OF 2

AMENDED PHASE 3 PRELIMINARY PLAT

WATER'S EDGE

A RESIDENTIAL SUBDIVISION

LAND USE	
TOTAL ACREAGE:	57.18 acres
TOTAL OPEN SPACE:	0.24 acres
TOTAL LOTS:	136
NO. LOTS / ACRE:	2.38
NO. LOTS AREA B:	63
AVE. LOT SIZE AREA B:	15,651 SF
ZONING AREA B:	SDF-15,000



NOTES:
1- THIS AREA HAS HISTORICALLY HAD A HIGH WATER TABLE, AND THE TOWN OF VINEYARD WILL HAVE NO LIABILITY FOR ANY DAMAGES DUE TO THE HIGH WATER TABLE. A LAND DRAIN FOR EACH LOT WILL BE REQUIRED AND MAINTAINED BY THE PROPERTY OWNER.
2- PROPERTY OWNERS SHOULD BE AWARE THAT THIS AREA IS LOCATED IN THE VICINITY OF A RAILROAD SYSTEM.
3- ALL ROADS TO BE DEDICATED TO THE TOWN OF VINEYARD.

DEVELOPER: FLAGSHIP HOMES
170 SOUTH INTERSTATE PLAZA, SUITE 250
LEHI, UT 84043 801-766-4442

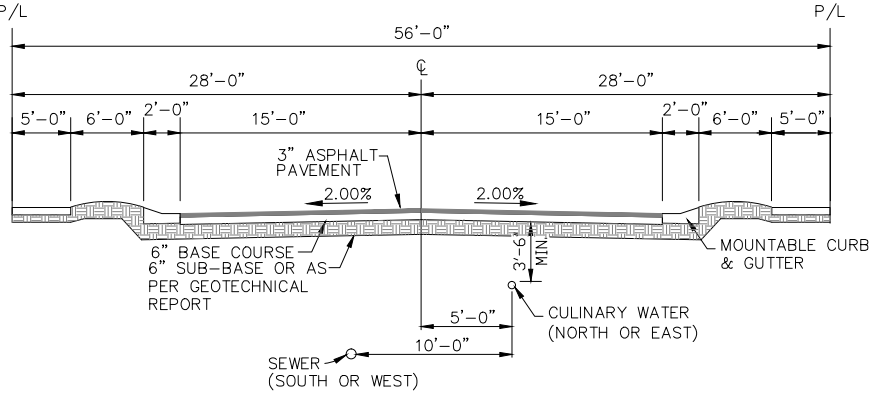
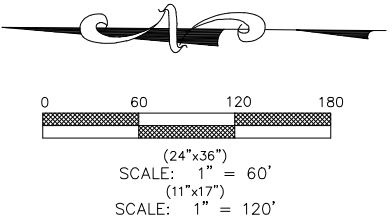
TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

ACCEPTANCE BY LEGISLATIVE BODY

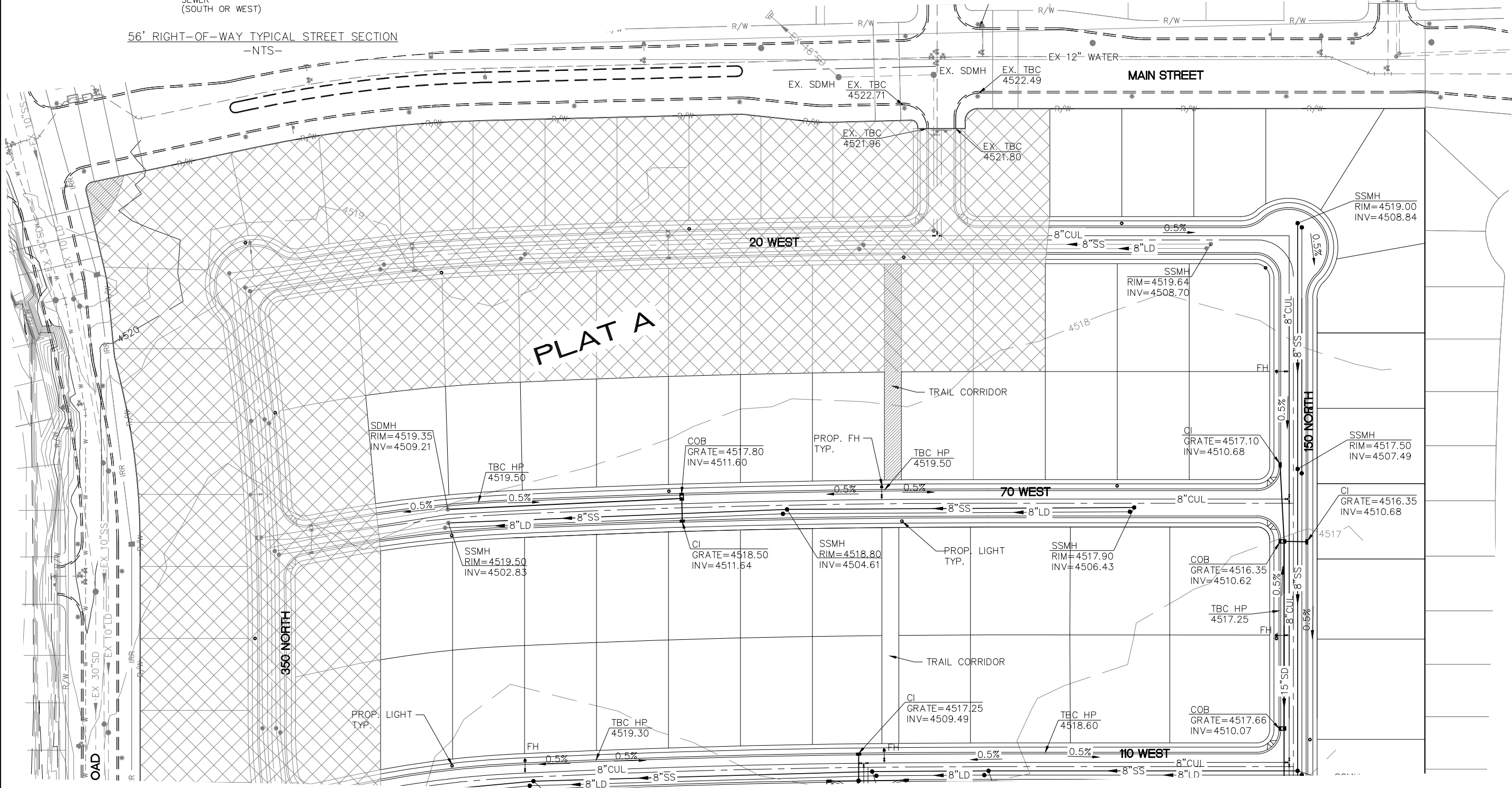
VINEYARD PLANNING COMMISSION CHAIR	VINEYARD ATTORNEY
DATE: ___/___/___	DATE: ___/___/___
VINEYARD ENGINEER	CITY MANAGER
DATE: ___/___/___	DATE: ___/___/___
CLERK/RECORDER	
DATE: ___/___/___	

RECORDING INFORMATION			
VINEYARD, UTAH COUNTY, UTAH SCALE: 1"= 80 FEET			
SURVEYOR SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDED SEAL

WATERS EDGE
PHASE 3
VINEYARD, UTAH



56' RIGHT-OF-WAY TYPICAL STREET SECTION
-NTS-



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

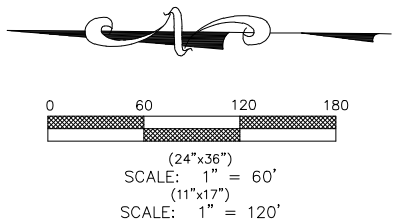
DESIGNED BY:	TGT
DRAWN BY:	TJT
CHECK BY:	TGT
DATE:	01/04/2018
CDGD FILE:	

J:\GIFFORD\VINEYARD NORTH\

TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

VINEYARD, UTAH	WATERS EDGE PHASE 3	PRELIMINARY UTILITY/GRADING	JOB GIFFORD
			SHEET NO. 1

WATERS EDGE
PHASE 3
VINEYARD, UTAH



- NOTES:
1. STORM DRAIN DESIGN TO BE COORDINATED WITH PARK DESIGN AND TO TIE INTO EXISTING FLARED END SECTION.
 2. ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE TOWN OF VINEYARD STANDARDS AND SPECIFICATIONS.



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

DESIGNED BY:	TGT
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DATE:	01/04/2017
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TRANE ENGINEERING, P.C.
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27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

VINEYARD, UTAH

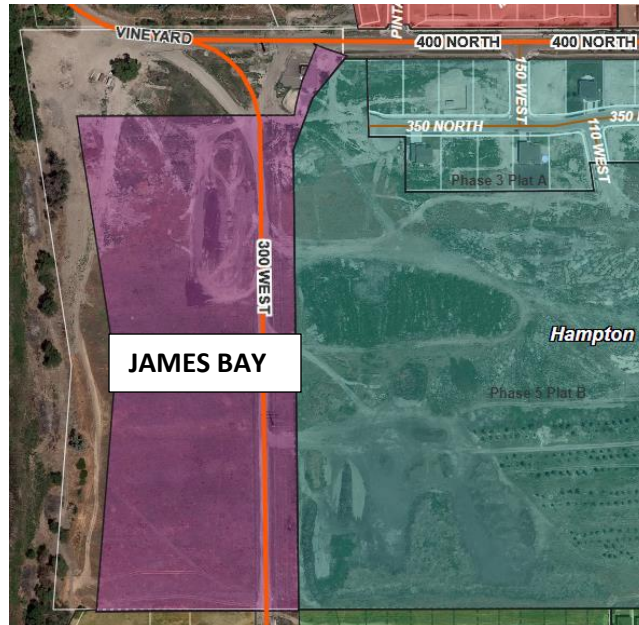
WATERS EDGE
PHASE 3

PRELIMINARY UTILITY/GRADING

JOB GIFFORD
SHEET NO. 2

Community Development

Date: March 7, 2018
From: Elizabeth Hart, Planner
To: Planning Commission
Item: James Bay at Waters Edge Preliminary Plat
Address: 300 West 400 North
Applicant: Flagship Development Inc.



BACKGROUND/INTRODUCTION:

The applicant, Flagship Homes, is resubmitting a preliminary plat application for the James Bay subdivision within Waters Edge. The subject property is located south of 400 North and immediately adjacent to the Utah Lake. The property is currently designated SFD-20,000 within the adopted Waters Edge Zoning Ordinance, which requires the below development standards. The plat indicates that there are 28 buildable lots on approximately 21.47 acres with 2.48 acres of open space.

ANALYSIS:

Changes from the previous preliminary plat were made to 300 West. The original plat had two accesses onto 300 West from the east side, going through Parcel A and B. The new plat shows one access that connects James Bay onto 300 West, as well as into the adjacent subdivision (Hamptons). With a single entrance into the subdivision the applicant was required to put in a crash gate through a 30' wide easement on the north side of the development leading into a city park, shown as Parcel C.

As part of Waters Edge master plan, this subdivision is required to include a dedication for any and all adjacent trails shown on the project master trail plan. This subdivision contains a section of the Lake Shore Trail, which runs along the western boundary of the property from north to south, the trail isn't shown but is part of the conditions for approval. Parcels A and B are open space and will also include a trail.

There is a 3-acre park (Beach Park) that is part of the Waters Edge Open Space and Recreation Plan which is planned to be located on the north side of the subdivision. The applicant and staff have discussed waiting to dedicate the park to the city until designs have been finalized.

The applicant originally was constructing the proposed subdivision as a gated community, with the update the applicant has not decided if it will be a gated community.

REQUIREMENT	STANDARD	COMPLIANCE
Minimum Lot Size	20,000 SF	Lot sizes range between 20,009 SF and 28,628 SF
Minimum Lot Width	100 FT	Yes
Minimum Lot Width (Corner Lots)	110 FT	Yes
Minimum Lot Depth	100 FT	Yes
Minimum Front Setback to Garage	20 FT	Yes
Minimum Front Setback to Living Space/Porch	20 FT	Yes
Minimum Rear Yard Setback	20 FT	Yes
Minimum Side Yard Setback	8 Ft Min, 18' total side yard	
Minimum Side Yard Depth for Corner Lots	20 FT	Yes

FINDINGS:

With the proposed conditions, the proposed plat meets the following findings:

- It is in conformance with the Waters Edge zoning ordinance.

RECOMMENDATION: Staff recommends that the Planning Commission recommend approval of the James Bay Preliminary Plat to the City Council with the listed conditions.

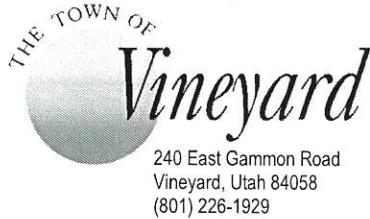
PROPOSED MOTION:

I move to recommend approval to the city council of the James Bay Preliminary Plat with the proposed conditions:

1. The applicant pays any outstanding fees and makes any redline corrections
2. The forthcoming final plat be in conformance with this preliminary plat
3. The applicant is subject to all local, state, and federal laws

Attachments:

Preliminary Plat Application
Preliminary Plat



PRELIMINARY SUBDIVISION APPLICATION

Please Note: Attachment of request specific documents is required prior to processing your application.

APPLICATION DATE: 1/11/18

APPLICANT(S): Flagship Development Inc.

ADDRESS OF APPLICANT: 1250 E 200 S. Ste 10 Lehi UT 84043

BUSINESS PHONE #: 801-766-4442 CELL PHONE #: 435-218-5656

EMAIL ADDRESS: bronson@forsail.com FAX NUMBER: 801-466-3337

CURRENT ZONING DISTRICT DESIGNATION: Waters Edge Zone

NUMBER OF PROPOSED NEW LOTS: 28 single Family Lots

LOCATION/ADDRESS OF PROPOSED FINAL SUBDIVISION: ~300 W. and 230 N.

TOTAL ACREAGE OF PROPOSED FINAL SUBDIVISION: _____

NAME OF PROPERTY OWNER(S): same as applicant

CHECK APPLICABLE PERMIT ATTACHMENT:

<input type="checkbox"/>	CONDITIONAL USE PERMIT	<input type="checkbox"/>	FINAL PLAT
<input type="checkbox"/>	GENERAL MAP/PLAT AMENDMENT	<input type="checkbox"/>	LAND DISTURBANCE PERMIT
<input type="checkbox"/>	MINOR PLAT AMENDMENT	<input type="checkbox"/>	PERMITTED USE SITE PLAN
<input checked="" type="checkbox"/>	PRELIMINARY SUBDIVISION	<input type="checkbox"/>	ROAD CUT PERMIT
<input type="checkbox"/>	TEMPORARY USE PERMIT	<input type="checkbox"/>	VARIANCE APPLICATION

SIGNATURE OF APPLICANT(S):

Rebecca Spier

Applicant Signature

1/11/18
Date

Co-Applicant Signature

Date

$$\$1,930 + \$6.20 (28) = \$2,103.6$$

OFFICE USE ONLY			
DATE RECEIVED		DATE OF APPROVALS	
Initial Submittal	Complete Submittal	Planning Commission	Town Council
Type of Request	Staff Comments:		
PAYMENT INFORMATION			
Amount Due	Date Paid	Amount Paid	Check #

Only fully completed submittals may be accepted in office. If the submittal is incomplete in any way, it must be returned to the applicant.

PROPERTY OWNER AFFIDAVIT

STATE OF UTAH }

I, the undersigned, Nathan Hutchinson, as owner(s) of the property identified in the attached application, depose that the statements herein contained in this application and the information provided in the attached plans and exhibits are in all respects true and correct to the best of my knowledge.

(Property Owner)

(Notary Public)

 E. RACHEL WILSON
NOTARY PUBLIC - STATE OF UTAH
COMMISSION NUMBER 679273
My Commission Expires Sept. 22, 2018

I, the undersigned, _____, as owner(s) of the real property described in the attached application, do authorize the following: _____, as agent(s) and designated representative(s) regarding the attached application, to appear on my behalf before any administrative or legislative body in the Town of Vineyard considering this application, and to act in all respects as agent(s) in matters pertaining to the attached application.

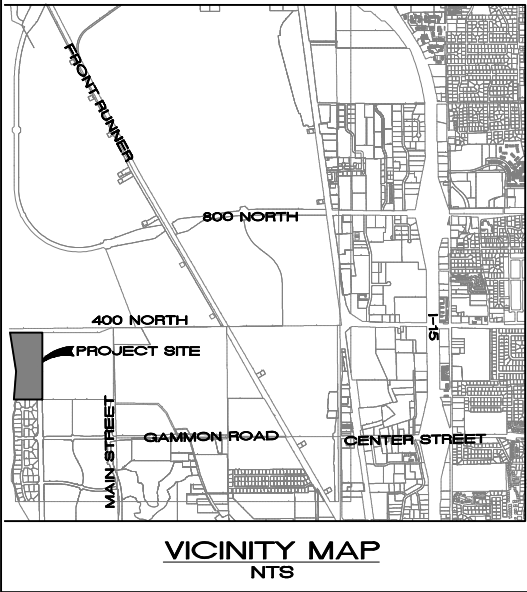
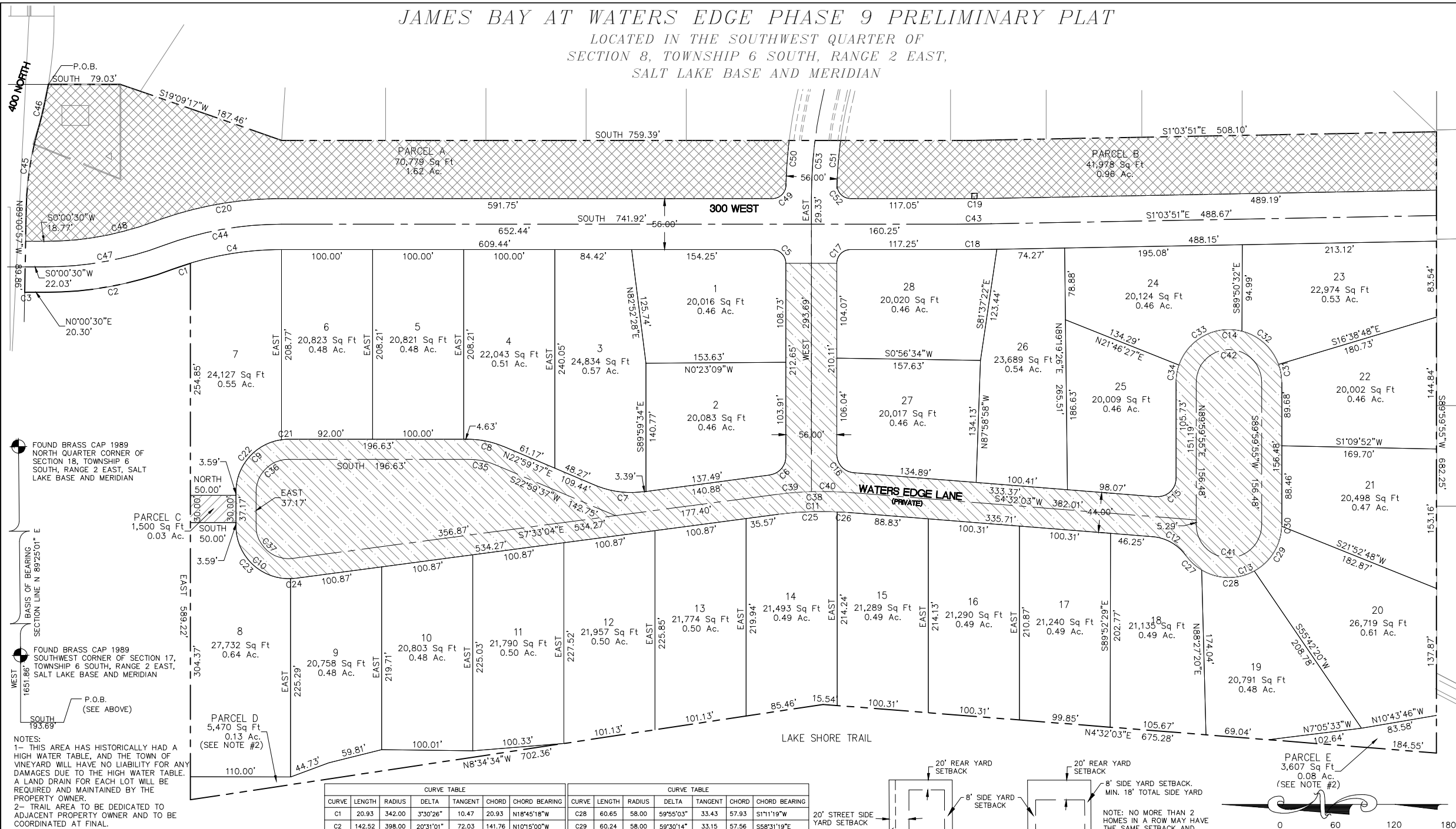
(Property Owner)

(Notary Public)

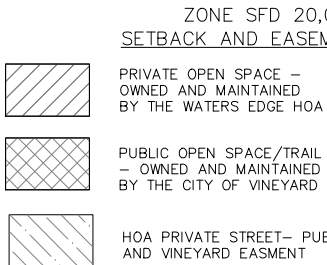
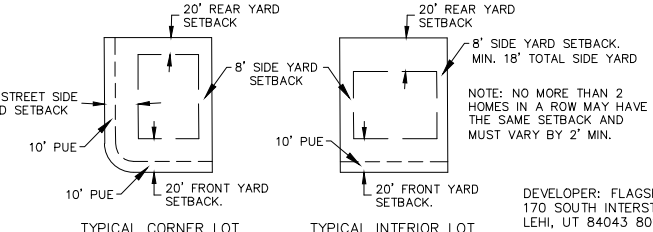
Revised 5/30/2013

JAMES BAY AT WATERS EDGE PHASE 9 PRELIMINARY PLAT

LOCATED IN THE SOUTHWEST QUARTER OF
SECTION 8, TOWNSHIP 6 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN



CURVE TABLE							CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING	CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C1	20.93	342.00	3°30'26"	10.47	20.93	N18°45'18"W	C28	60.65	58.00	59°55'03"	33.43	57.93	S11°11'19"W
C2	142.52	398.00	20°31'01"	72.03	141.76	N10°15'00"W	C29	60.24	58.00	59°30'14"	33.15	57.56	S58°31'19"E
C3	2.22	17.00	7°28'50"	1.11	2.22	N3°43'55"W	C30	1.75	58.00	1°43'38"	0.87	1.75	S89°08'16"E
C4	101.48	342.00	17°00'06"	51.12	101.11	N8°30'02"W	C31	20.25	58.00	20°00'12"	10.23	20.15	N79°59'49"E
C5	23.56	15.00	90°00'00"	15.00	21.21	N45°00'00"E	C32	56.40	58.00	55°42'38"	30.65	54.20	N42°08'24"E
C6	28.78	20.00	82°26'55"	17.52	26.36	S48°46'32"E	C33	86.33	58.00	85°16'54"	53.41	78.58	N28°21'22"W
C7	53.31	100.00	30°32'41"	27.31	52.68	S74°31'6"W	C34	19.24	58.00	19°00'16"	9.71	19.15	N80°29'57"W
C8	40.13	100.00	22°59'37"	20.34	39.86	N11°29'49"E	C35	31.30	78.00	22°59'37"	15.86	31.09	S11°29'49"W
C9	91.11	58.00	90°00'00"	58.00	82.02	N45°00'00"W	C36	56.55	36.00	90°00'00"	36.00	50.91	S45°00'00"E
C10	98.75	58.00	97°33'05"	66.20	87.25	S41°13'28"W	C37	61.29	36.00	97°33'05"	41.09	54.15	N41°13'28"E
C11	76.36	362.00	12°05'08"	38.32	76.22	N1°30'30"W	C38	81.00	384.00	12°05'08"	40.65	80.85	N1°30'30"W
C12	43.54	50.00	49°53'34"	23.26	42.18	N29°28'50"E	C39	39.45	384.00	5°53'08"	19.74	39.43	N4°36'30"W
C13	146.20	58.00	144°25'42"	180.80	110.46	S17°47'14"E	C40	41.55	384.00	6°11'59"	20.80	41.53	N1°26'04"E
C14	182.21	58.00	180°00'00"	INFINITY	116.00	N0°00'00"W	C41	113.10	36.00	180°00'00"	INFINITY	72.00	N0°00'00"W
C15	33.00	20.00	94°32'08"	21.65	29.38	S42°44'01"E	C42	113.10	36.00	180°00'00"	INFINITY	72.00	S0°00'00"E
C16	29.83	20.00	85°27'57"	18.48	27.14	S47°16'02"W	C43	37.15	2000.00	1°03'51"	18.58	37.15	S0°31'55"E
C17	23.56	15.00	90°00'00"	15.00	21.21	N45°00'00"W	C44	132.44	370.00	20°30'31"	66.94	131.73	N10°15'15"W
C18	37.67	2028.00	1°03'51"	18.84	37.67	S0°31'55"E	C45	88.69	352.50	14°24'57"	44.58	88.46	S81°48'28"E
C19	36.63	1972.00	1°03'51"	18.32	36.63	N0°31'55"W	C46	52.53	446.51	6°44'26"	26.30	52.50	S76°58'58"E
C20	142.46	398.00	20°30'31"	72.00	141.70	S10°15'15"E	C47	132.49	370.00	20°31'01"	66.96	131.79	S10°15'00"E
C21	8.03	58.00	7°55'41"	4.02	8.02	N3°57'50"W	C48	122.47	342.00	20°31'01"	61.90	121.81	S10°15'00"E
C22	83.08	58.00	82°04'19"	50.48	76.16	N48°57'50"W	C49	23.18	15.00	88°33'26"	14.63	20.94	S44°16'43"E
C23	93.11	58.00	91°58'34"	60.04	83.43	S44°00'43"W	C50	49.52	528.00	5°22'27"	24.78	49.51	N85°52'12"W
C24	5.64	58.00	5°34'31"	2.82	5.64	S4°45'49"E	C51	48.73	472.00	5°54'57"	24.39	48.71	N85°19'40"W
C25	64.89	362.00	1°06'11"	32.53	64.80	N2°24'58"W	C52	24.01	15.00	91°42'51"	15.46	21.53	S45°51'26"W
C26	11.47	362.00	1°48'56"	5.74	11.47	N3°37'35"E	C53	62.84	500.00	7°12'02"	31.46	62.80	N86°23'59"W
C27	23.57	58.00	2°31'46"	11.95	23.40	S42°47'14"W							



LAND USE	
TOTAL ACREAGE:	21.64 acres
PUBLIC OPEN SPACE:	2.56 acres
TOTAL LOTS:	28
NO. LOTS / ACRE:	1.29
ZONING:	SDF-20,000

ACCEPTANCE BY LEGISLATIVE BODY	
VINEYARD PLANNING COMMISSION CHAIR	VINEYARD ATTORNEY
DATE: __/__/__	DATE: __/__/__
VINEYARD ENGINEER	CITY MANAGER
DATE: __/__/__	DATE: __/__/__
CLERK/RECORDER	
DATE: __/__/__	

SURVEYOR'S CERTIFICATE

I, TRAVIS TRANE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NO. 5152741, IN ACCORDANCE WITH TITLE 58, CHAPTER 22 OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, A SURVEY WAS MADE UNDER MY DIRECTION OF THE TRACT OF LAND SHOWN AND DESCRIBED ON THIS DEDICATION PLAT, I CERTIFY THAT SAID SURVEY WAS COMPLETED IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, I FURTHER CERTIFY THAT I HAVE VERIFIED ALL MEASUREMENTS AND THAT MONUMENTS HAVE BEEN PLACED AS SHOWN ON THIS PLAT, I HEREBY STATE THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION, BELIEF AND IN MY PROFESSIONAL OPINION.

(SURVEYOR), P.L.S. _____ DATE _____

BOUNDARY DESCRIPTION

Commencing at a point which is South 200.02 feet and West 1576.87 feet from the Northeast Corner of Section 18, Township 6 South, Range 2 East, Salt Lake Base and Meridian; thence South 79.03 feet; thence South 19°09'17" West 187.46 feet; thence South 759.39 feet; thence South 01°03'51" East 508.10 feet; thence South 89°59'55" West 682.25 feet; thence North 04°32'03" East 675.28 feet; thence North 08°34'34" West 702.36 feet; thence East 597.60 feet; thence northerly 36.43 feet along the arc of a 172.00 foot radius curve to the left, the chord of which bears North 21°57'25" West 36.37 feet; thence northerly 111.56 feet along the arc of a 228.00 foot radius curve to the right, the chord of which bears North 14°00'30" West 110.45 feet; thence North 00°00'30" East 38.91 feet; thence northerly 2.22 feet along the arc of a 15.00 foot radius curve to the left, the chord of which bears North 03°43'55" West 2.22 feet; thence South 89°00'57" West 89.86 feet; thence easterly 88.69 feet along the arc of a 352.50 foot radius curve to the right, the chord of which bears South 81°48'28" East 88.46 feet; thence easterly 52.53 feet along the arc of a 446.50 foot radius curve to the left, the chord of which bears South 76°58'58" East 52.50 feet to the point of beginning. Parcel contains: 21.64 acres more or less.

Basis of bearing: The line between the Northwest Corner and the North Quarter Corner of Section 17, Township 6 South, Range 2 East, Salt Lake Base and meridian which bears North 89°25'01" East.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS, PARCELS AND STREETS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS WESTBROOK AT WATERS EDGE PLAT "D", AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNER(S) ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES.

IN WITNESS WHEREOF, WE HAVE HERE UNTO SET OUR HANDS THIS ____ DAY OF _____ A.D. 20 ____.

SIGNATURE _____	PRINT NAME _____	TITLE & ENTITY _____
SIGNATURE _____	PRINT NAME _____	TITLE & ENTITY _____

ACKNOWLEDGEMENT

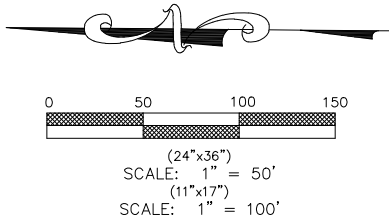
STATE OF UTAH }
COUNTY OF UTAH } S.S.
ON THIS THE ____ DAY OF _____, A.D. 20 ____ ,
PERSONALLY APPEARED BEFORE ME,

WHO BEING DULY SWORN OR AFFIRMED, DID SAY THAT HE/SHE/THEY SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN MENTIONED.

NOTARY PUBLIC _____
MY COMMISSION EXPIRES: _____

PHASE 9 PRELIMINARY PLAT JAMES BAY AT WATERS EDGE A RESIDENTIAL SUBDIVISION			
VINEYARD, UTAH COUNTY, UTAH SCALE: 1"= 60 FEET		RECORDING INFORMATION	
SURVEYOR SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDED SEAL

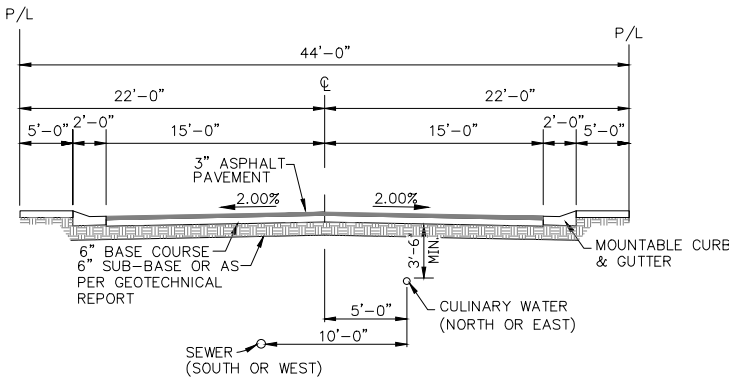
GENERAL NOTES:
1) ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE TOWN OF VINEYARD STANDARDS AND SPECIFICATIONS.
2) ONE (1) ELECTRONIC COPY OF AS-BUILT DRAWINGS, FORMATTED IN ACCORDANCE WITH THE TOWN OF VINEYARD DESIGN STANDARDS, SHALL BE SUBMITTED TO THE TOWN UPON COMPLETION OF THE PUBLIC IMPROVEMENTS; INCLUDING, WATER, SEWER, STORM DRAIN, AND POWER
3) PRIOR TO CONSTRUCTION, AN EROSION AND SEDIMENTATION CONTROL PLAN WILL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.
4) PRIOR TO COMMENCEMENT OF ANY WORK, A PRECONSTRUCTION MEETING WILL BE HELD WITH THE CITY ENGINEER, CITY INSPECTORS, THE CONTRACTOR AND THE PROPERTY OWNER.
5) ALL ADA REQUIREMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF VINEYARD DESIGN STANDARDS AND PUBLIC IMPROVEMENTS SPECIFICATIONS.
6) ALL LAND DRAIN MANHOLES TO BE 1.5 FEET DEEPER THAN SEWER MANHOLES.
7) ALL SEWER IS AT A MINIMUM OF 0.4% SLOPE.
8) CONTRACTOR TO VERIFY INVERT ELEVATION OF EXISTING MANHOLE.
9) TRAIL CORRIDOR TO BE CONSTRUCTED AS AN EMERGENCY ACCESS TO AND THROUGH THE PARK. COORDINATE WITH TOWN DURING FINAL DESIGN ON MIN. REQUIREMENTS FOR ACCESS.



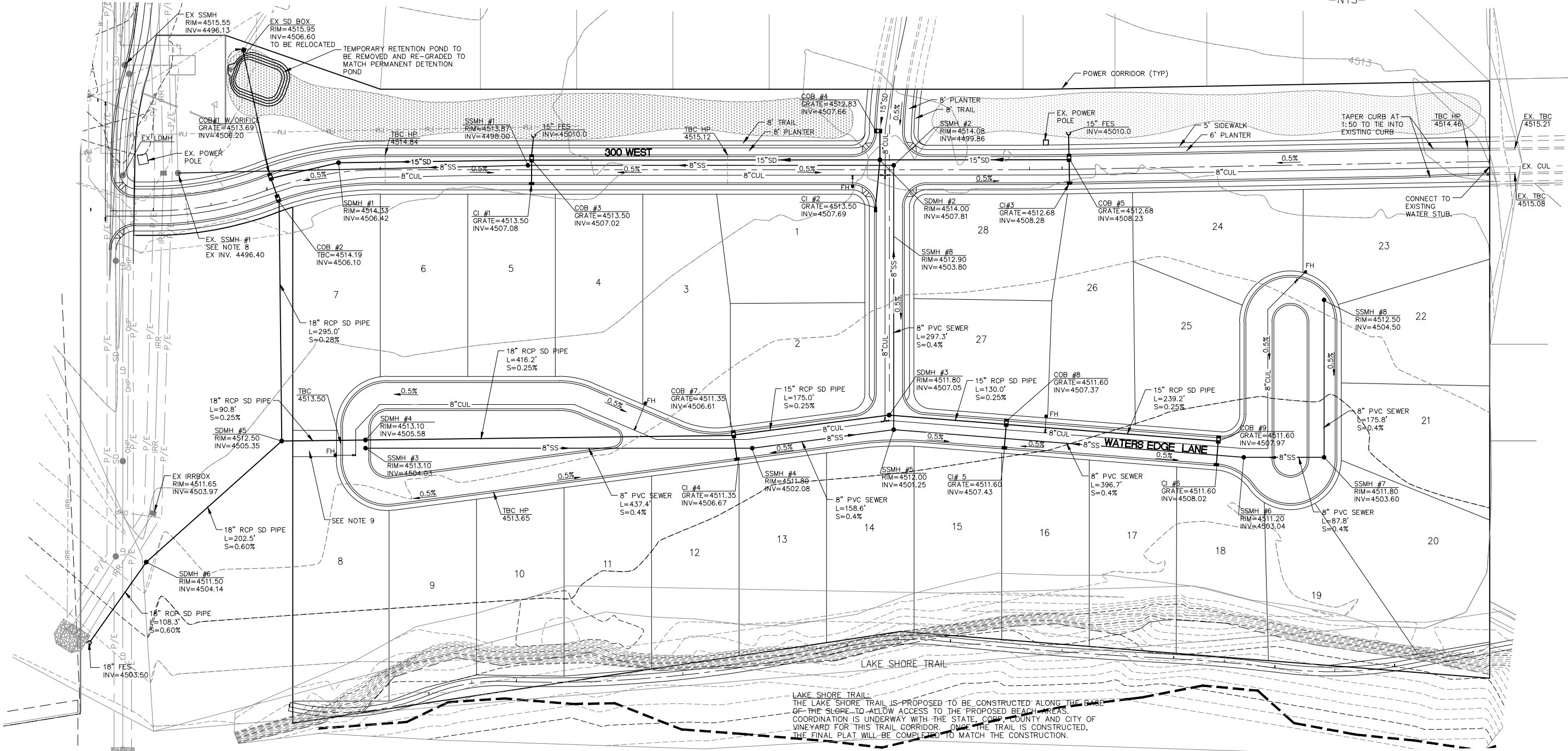
JAMES BAY AT WATERS EDGE

PHASE 9

VINEYARD, UTAH



PRIVATE DRIVE TYPICAL SECTION
-NTS-



REVISIONS				
NO.	DATE	DESCRIPTION	BY	DESIGNED BY:
1				TGT
2				TGT
3				TGT
4				TGT

J:\GIFFORD\VINEYARD NORTH\

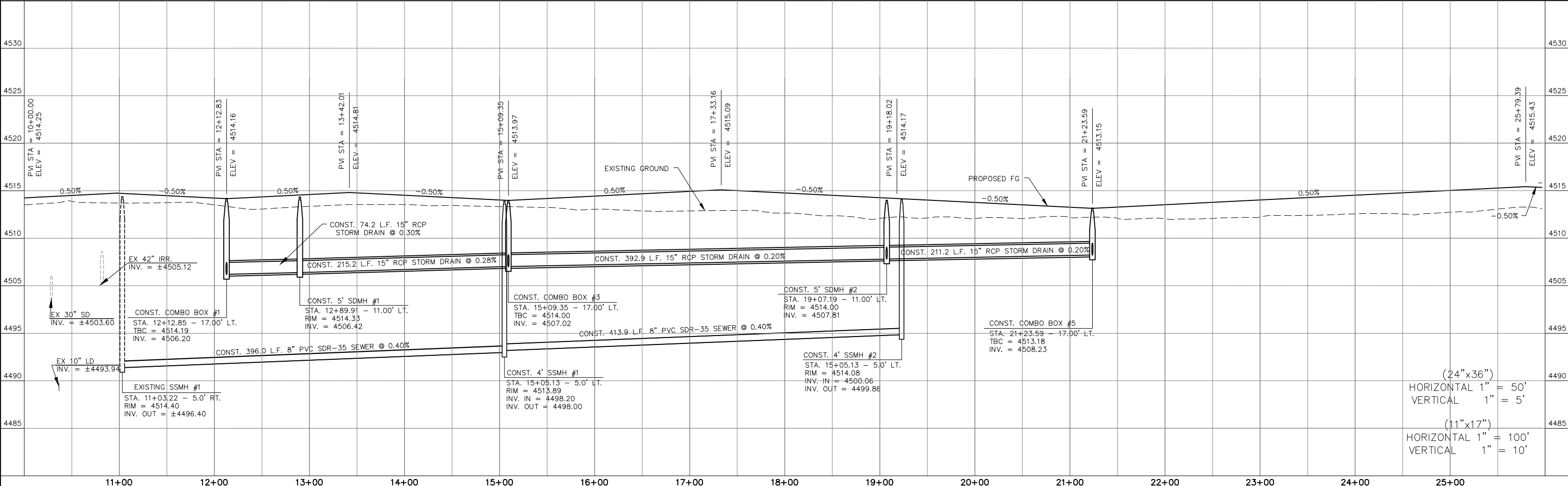
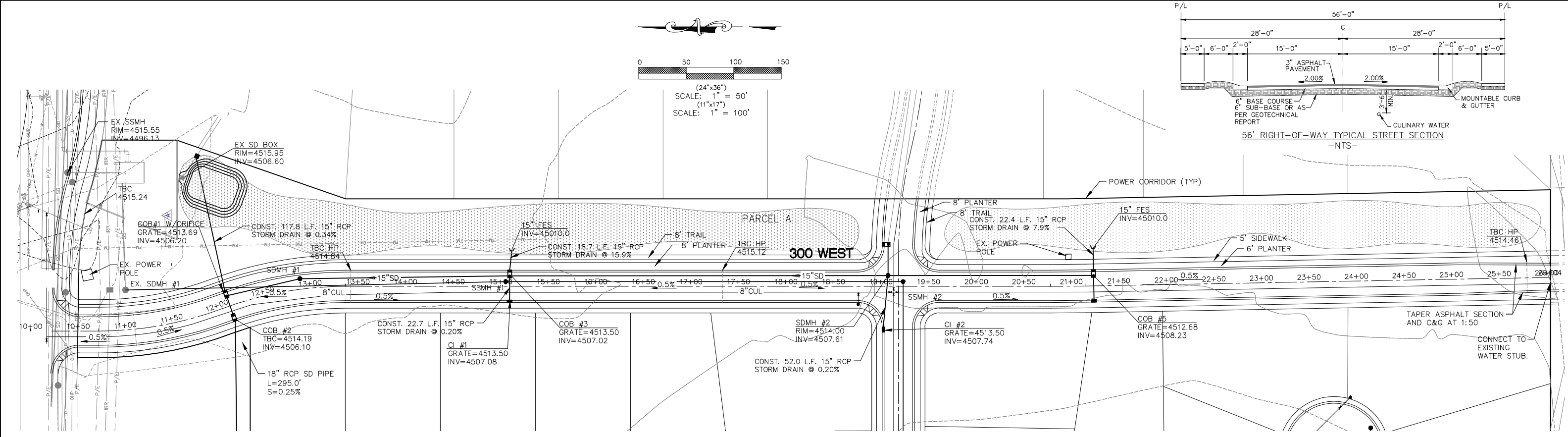
TRANE ENGINEERING, P.C.
CONSULTING ENGINEERS AND LAND SURVEYORS
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

VINEYARD, UTAH

JAMES BAY AT WATERS EDGE
PHASE 9

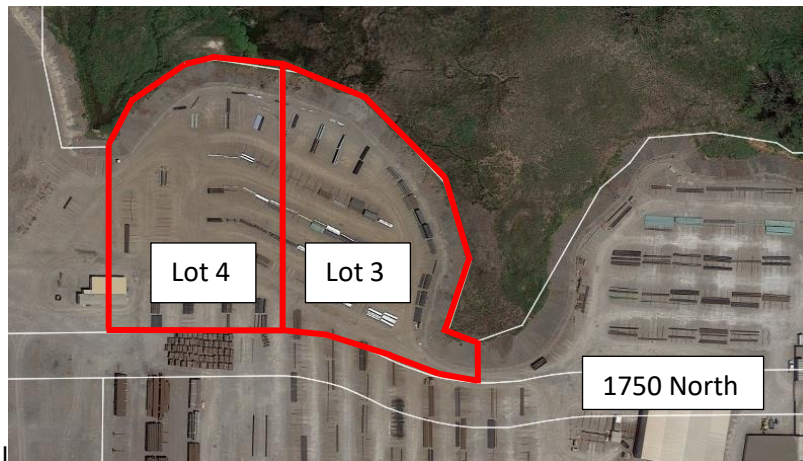
PRELIMINARY UTILITY PLAN

JOB
WSVNE
SHEET NO.
1



Community Development

Date: March 7, 2018
From: Elizabeth Hart, Planner
To: Planning Commission
Item: Lakeview Holdings South Site Plan Application
Address: Lots 3 & 4 of Eastlake Phase 11
Applicant: Joel Pilling, Lakeview Holdings South



INTRODUCTION:

The proposed site plan application is for two lots located within the Manufacturing District. The applicant is proposing two warehouses, one on each lot, surrounded by parking. The subject properties are part of the Eastlake at Geneva Industrial Business Part Phase 11 subdivision. The lots are along 1750 North, which will be built out to the properties.

ANALYSIS:

Manufacturing District Requirements	Lot 4/ Warehouse 1	Lot 3/ Warehouse 2
Minimum Lot Size: 20,000 SF	91,661 SF/ 2.10 Acres	90,334 SF/ 2.07 Acres
Size of Warehouses	36,000 SF	24,000 SF
Size of Warehouse and Office Space	Warehouse: 26,000 SF Office: 10,000 SF	Warehouse: 20,000 SF Office: 4,000 SF
Maximum Height: 60'	~29' (2 stories)	~29' (2 stories)
Front Setback: 25 ft.	25 ft	25 ft.
Rear Setback: 25 ft.	~69 ft.	~68'
Side Setback: 20 ft.	44 ft (both sides)	44 ft. (left) ~65 ft. (right)

Community Development

15.36 Site Planning and Building Design Requirements			
Compliance	CATEG	Standard	Comments
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	.030.1 Subdivision and Project Features	All subdivisions and other projects shall include features that add visual interest and attractiveness to the project area and the City.	The buildings are made of Concrete Masonry Units (CMU), all sides of the buildings have false facades and wall pop-outs that create different depths, and two rows of buildings on all walls, and the area is landscaped.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	.03.1.a.i. View Protection	Care shall be taken to control the proportion and massing of buildings to minimize the obstruction of all views. Vertical design elements exaggerating building height and dominant rooflines shall be avoided.	The proposed buildings are approximately 29 feet in height and have flat roofs. The false facades makeup about 7 feet of the height, giving the building an exaggerated height but staying within the maximum height requirement.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.1.a.ii.1 Coherent Building Design	All sides of a building shall be coherently designed and treated. A façade not related to the rest of the building shall be avoided. A consistent level of detail and finish on all sides of a building shall be provided.	The buildings have consistent materials and windows on all sides.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.1.a.ii.2.	Continuous building wall surfaces shall be relieved with variations of wall planes or overhangs that create shadow areas and add visual interest.	The buildings consist of wall pop-outs that create a variation of wall planes.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.1.a.iii. Reduced Roof Mass	Visual impact is minimized when the roof is very shallow pitch, or a hip roof formation rather than a gabled formation.	The proposed roof is flat, the design includes a false façade that adds height to the building.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.1.a.v. Visual Patterns	All buildings shall have shadow relief created by recesses and projections.	The project includes <ul style="list-style-type: none"> - A covered entrance - Wall pop-outs - Landscaped areas in front of the buildings
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.1.a.vi. Architectural Details	Surface details, ornaments, and other building elements that enrich the character of a building are encouraged.	The project has pop-outs, covered entries, and decorative trim
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.4. Mechanical Equipment	Mechanical and building equipment shall be placed at locations where they will be least intrusive in terms of noise, appearance, and odors, particularly for adjacent properties and public ROW.	A transformer is in the back of the properties, electrical meters are located on the backside of the buildings, water meters are located in the front of the



Community Development

			property but surrounded by some landscaping.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.5.c. Building Location	All project and building plans shall allow for and provide interconnected streets, walkways, trails and parking areas, as applicable.	The project connects into 1750 North, each building has its own parking area, the industrial district does not require sidewalks, and there are no trails nearby.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.7. Building Materials and Textures	Exterior building materials shall be similar to and compatible with those found in a rural setting. Are encouraged in natural colors or earth tone finishes	The building material of (split face and smooth-face) concrete masonry units (CMU). The color is natural
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.9. Subdivision and Site Design and Layout	Shall recognize and preserve, as much as practicable, the natural features and sensitive areas occurring on the site.	There are wetlands to the north of the subject properties. A gabion retaining wall is proposed to be put up against the wetlands. Gabion retaining walls are gabion crates (wire) filled with rocks.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.10. Site Access	The location and number of access points to the site, the interior circulation pattern and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience, and should be harmonious with proposed and neighboring buildings.	There are two access points off of 1750 North onto each site.
<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.13.b. Transitional Landscaped Areas	Where new development adjoins areas of natural open space, a soft transitional edge shall be provided to create a gradual transition between the natural open space area and the new development.	There is no proposed landscaping between the edge of the parking garage and gabion retaining wall. It appears that it will stay natural besides the retaining wall.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.13.c. Landscape Materials	All proposed plantings and site materials should be consistent with (but not uniform) and of a similar scale with existing natural neighboring landscape, and adjacent streetscape areas where appropriate. Drought tolerant "xeriscape" landscaping is encouraged.	3 different types of trees; Crab Apple, Spring Snow, and Pear Trees. Shrubbery consist of the Russian Sage which staff has deemed appropriate.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.17. Site Lighting Standards	To protect views of the night sky, all outside lighting shall be "down lighting" so that lighting does not trespass to adjoining properties. All exterior lighting shall be shielded or hooded so that no light is allowed to spill or trespass onto adjacent properties	Lighting of the parking area and exterior of building includes a Lamp (unknown height) that has downward lighting and covered building mounted lights (you can find pictures of the proposed lighting on page XX of this report)
<input checked="" type="checkbox"/> Yes	030.17.c. Site Lighting Standards	Parking Lot Lighting, Minimum adequate lighting should be provided in all parking areas, with emphasis placed on appropriate lighting at	There is a total of 27 lamps, 6 of which are located within the street frontage. The rest are



Community Development

<input type="checkbox"/> No <input type="checkbox"/> N/A		entrances and exits. All parking area lighting shall be integrated with landscape features. The height of pole-mounted fixtures shall be held to a minimum practical height, but not exceeding twenty (20) feet.	within parking islands and along the rear of the property. Height of the lamps is unknown but will not be allowed to exceed 20ft in height.						
Chapter 19 Parking and Loading Requirements									
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.1.d.i. Accessible Parking	Accessible parking for non-residential developments shall be provided in conformance with the Americans with Disabilities Act (ADA), Utah Americans with Disabilities Act (Utah ADA) and International Building Code (IBC).	Total of 5 ADA stalls required. The applicant is proposing 6 ADA stalls.						
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.1.e. Parking Stall Dimensions	<p>Minimum parking stall size:</p> <table border="1"> <thead> <tr> <th>Type</th> <th>Width</th> <th>Length*</th> </tr> </thead> <tbody> <tr> <td>Standard</td> <td>9 feet</td> <td>20 feet</td> </tr> </tbody> </table> <p>* The front of the parking space may overhang two (2) feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a four (4) foot wide clearance for pedestrian access (a total of six (6) feet from the curb face to the opposite edge of the walkway).</p>	Type	Width	Length*	Standard	9 feet	20 feet	All parking stalls meet this requirement.
Type	Width	Length*							
Standard	9 feet	20 feet							
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.f. Parking Aisle Dimensions	<table border="1"> <thead> <tr> <th>Parking Angle</th> <th>One-Way Aisle</th> </tr> </thead> <tbody> <tr> <td>90 Degrees</td> <td>24 Feet</td> </tr> </tbody> </table>	Parking Angle	One-Way Aisle	90 Degrees	24 Feet	Fire Code requires drive aisles to be a minimum of 26 feet in width, the parking aisles meet the fire code requirement.		
Parking Angle	One-Way Aisle								
90 Degrees	24 Feet								
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.j. Surfacing	All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete or asphalt to control dust and drainage.	The applicant is proposing asphalt.						
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.o.i. Parking Area Landscaping	Five percent (5%) of the gross parking surface area shall be of dispersed interior landscaping, designed so as to reduce the "heat island" effect and to enhance the aesthetics of a parking area.	The applicant is proposing a total of 10% of the gross parking surface to be landscaped.						
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.o.iv.	In projects greater than 1 acre, every parking space should be no greater than one hundred fifty (150) feet from a walkway leading to a building entrance.	All parking spaces are within 100 feet of an entrance.						

Community Development

<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	030.2.c. Off-street Parking Requirement Non- Residential Uses	Warehouse: 1 space per 1000 SF of Warehouse area Office: 1 space per 300 SF of Office Area	<u>Warehouse 1:</u> Office: $10,000/300 = 33$ Stalls Warehouse: $26,000/1000 = 26$ Stalls Total Stalls Provided: 60 <u>Warehouse 2:</u> Office: $4,000/300 = 14$ Stalls Warehouse: $20,000/1,000 = 20$ Stalls Total Stalls Provided: 47
Chapter 20 Landscaping			
<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	080.1.b. Minimum Size of Plantings	All required deciduous trees shall be a minimum of two-inch caliper in size. All evergreen trees shall be a minimum of 6-feet in height. All shrubs shall be a minimum of 5-gallon in size.	The applicant is proposing a 2inch caliper for the trees and 1 gallon for the shrubs. Staff has added a condition that the shrubs be 5-gallon in size.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	080.2.a. Onsite Landscaped Areas	For all development within the industrial zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than five (5) percent of the net site area, whichever is greater.	Net Site Area: 68,353 SF 5% of Net Site Area: 3,417 SF Total Landscaped: 19,798 SF
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	080.6.a Street Frontages	The landscape setback, measured from the property line, for non-residential and multi-family uses shall be as follows: Arterial Streets: 25 feet	The buildings are setback 25' from the property line.
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	080.6.e	The installation of street trees, shrubs and vegetation groundcover shall be required for all applicable projects in an amount equal to or greater than one (1) tree and ten (10) shrubs for every twenty (20) feet of street frontage.	Total Street Frontage: ~535 feet $535/20 = \sim 27$ trees The applicant is 6 trees short. There are 3 trees within in parking islands that are visible from the street view that could be counted towards the number of trees needed to meet the



Community Development

			requirement. The applicant would still need to add additional 4 trees within the street frontage.
--	--	--	---

FINDINGS:

With the proposed conditions, the proposed plats meet the following findings:

- It meets the goals and objectives of the General Plan
- It is in conformance with the Zoning Ordinance with the proposed conditions listed below.

RECOMMENDATION:

Staff recommends the Planning Commission approve the preliminary plat subject to the following conditions:

1. The applicant pays any outstanding fees and makes any redline corrections.
2. The applicant shall plant 4 more trees to meet the minimum 1 tree for every 20 feet of street frontage
3. The applicant increases the planting size of the shrubs to 5-gallons.

PROPOSED MOTION:

"I move to approve the proposed site plan for the Lakeview Holdings South with the proposed conditions listed above.

Attachments:

Application
Proposed Site Plan Set
Lighting Plan



240 East Gammon Road
Vineyard, Utah 84058
Phone (801) 226-1929
Community Development Department

SITE PLAN APPLICATION

STAFF USE ONLY

Application Date: ____/____/____ Application Number: ____ Fee Owed: \$ ____
Received by: ____ Receipt #: ____ Cash/Card/Check#: ____

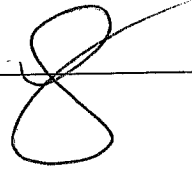
PROJECT INFORMATION

Name: LAKEVIEW HOLDINGS SOUTH
Address: LOTS ³⁴⁴~~213~~ EAST LAKE ^{Phase II}~~#2 SUBDIVISION~~ (PHASE I+2)
Acreage/Property Size: LOT 2 2.07 ACRES LOT 3 2.10 ACRES

APPLICANT INFORMATION

Name: LAKEVIEW HOLDINGS SOUTH
Mailing Address: 373 E 1750 N UNIT A VINEYARD 84057
Phone #: 801-310-7051 Fax #: 801-225-4111
Email Address: JOEL @ COLUMBIA MILLWORKS . COM

Owner Information

Owner Name: LAKEVIEW HOLDINGS SOUTH / JOEL PILLING
Owner Address: 373 E 1750 N UNIT A VINEYARD 84057
Owner Phone #: 801-310-7051 Owner Email Address: JOEL @ COLUMBIA MILLWORKS . COM
Owner's Signature: 



PROPERTY OWNERS AFFIDAVIT

I (we) LAKEVIEW HOLDINGS SOUTH UTAH LLC, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application; that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon personal knowledge.

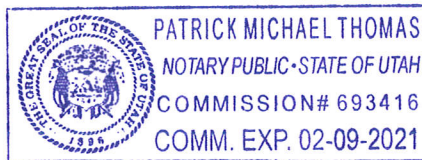
[Signature]
Owner's Signature

Owner's Signature (co-owner, if any)

State of UTAH

County of UTAH

Subscribed and sworn to (affirmed) before me this 24 day of JANUARY, 2018.



[Signature]
Notary Public

AGENT AUTHORIZATION AFFIDAVIT

I (we), LAKEVIEW HOLDINGS SOUTH UTAH LLC, owner(s) of the real property located at LOT 2 EASTLACE 2 SUBDIV., in Highland City, Utah, VINEYARD, do hereby appoint _____, as my (our) agent to represent me (us) with regard to this application affecting the above described real property.

[Signature]
Owner's Signature

Owner's Signature (co-owner, if any)

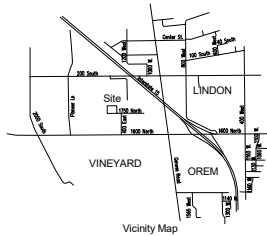
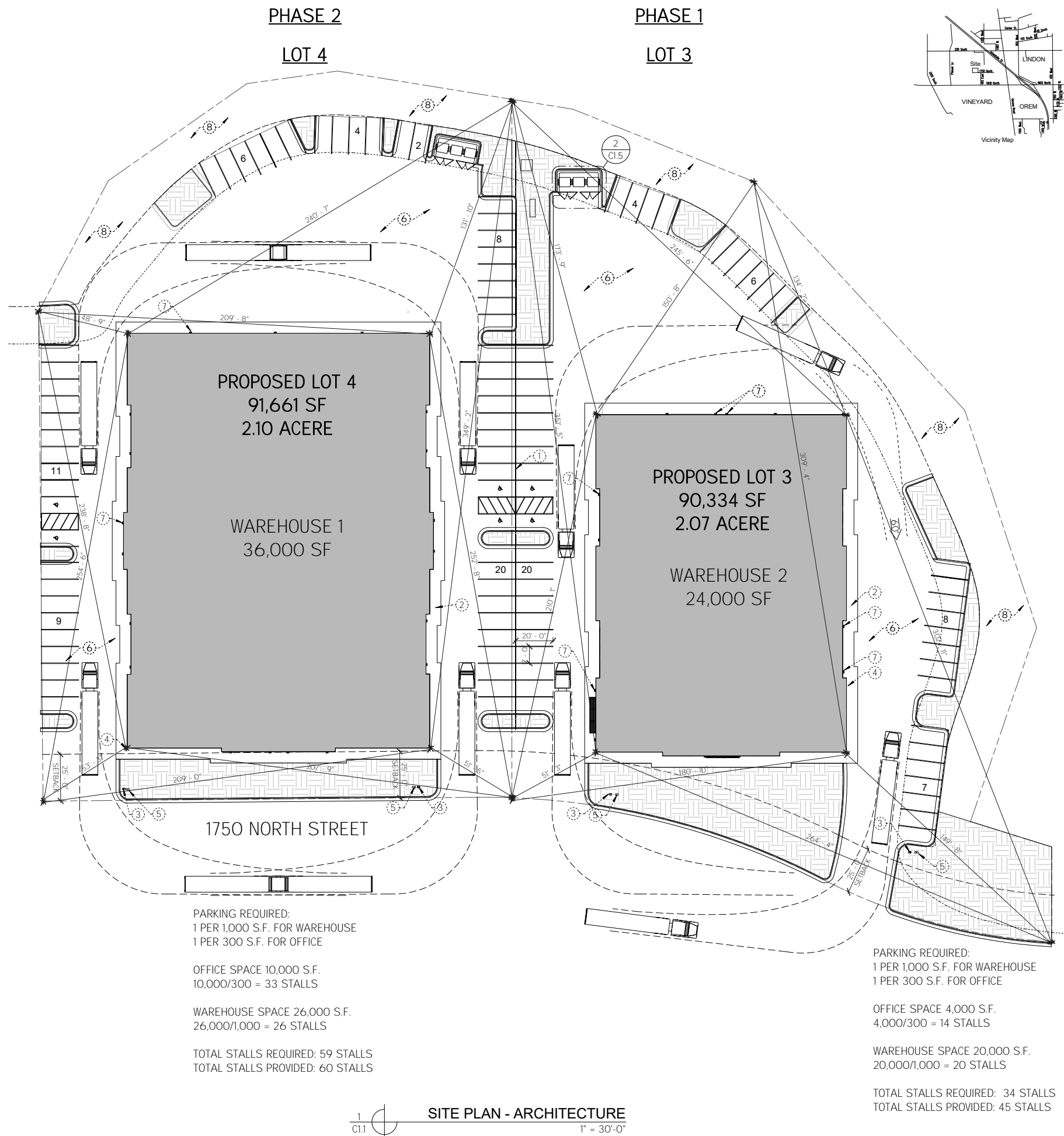
State of UTAH

County of UTAH

Subscribed and sworn to (affirmed) before me this 24TH day of JANUARY, 2018.



[Signature]
Notary Public



GENERAL NOTES

- (A) SEE GENERAL PROJECT NOTES, ROOF PLAN AND/OR FRAMING PLAN FOR ROOF PITCHES, ROOF BEARING AND STRUCTURAL REQUIREMENTS.
- (B) GROUND AROUND ENTIRE BUILDING TO SLOPE AWAY FROM BUILDING AT 5% MIN. SLOPE FOR A DISTANCE OF 10'-0" FROM BUILDING.
- (C) BUILDING MOUNTED FLOOD LIGHTS SHALL BE INSTALLED TO ILLUMINATE ADJACENT PARKING AREA.
- (D) ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND SPRINKLING SYSTEM WITH A BACK-FLOW DEVICE TO THE BUILDING.
- (E) ALL ROOF DRAINAGE SHALL BE DETAINED ON SITE OR ROUTED THROUGH ON-SITE DRAINAGE FACILITIES.
- (F) ALL UTILITY LINES LESS THAN 69KV SHALL BE UNDERGROUNDED WITH THE FIRST PHASE OF DEVELOPMENT.
- (G) ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED/CONCEALED FROM STREET VIEW.
- (H) PLANTS LOCATED WITHIN REQUIRED SIGHT VISIBILITY TRIANGLES SHALL BE PRUNED REGULARLY TO PERMIT UNOBSTRUCTED VISION. PLAN MATERIAL SHALL BE MAINTAINED TO BE LOWER THAN 3'-0" (SHRUBS) OR TALLER THAN 7'-0" (BOTTOM OF TREE CANOPY).
- (I) ALL DEVELOPMENTS SHALL BE MAINTAINED IN CONFORMANCE WITH THE APPROVED SITE PLAN AND LANDSCAPE PLAN. ANY CHANGES THERETO SHALL REQUIRE APPROVAL OF VINEYARD TOWN.
- (J) FUTURE DEVELOPMENT PADS WITHIN MASTER PLANNED DEVELOPMENTS SHALL BE COVERED FOR DUST AND WEED CONTROL AT TIME OF DEVELOPMENT.
- (K) THIS PROJECT IS SUBJECT TO THE CURRENT VINEYARD TOWN ENGINEERING REQUIREMENTS, GENERAL PLAN, ZONING ORDINANCES, AND ANY APPLICABLE REGULATIONS.

KEYED NOTES

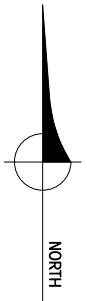
- (1) 6'-0" TALL FENCE AS PER OWNER
- (2) 6'-0" CONCRETE APRON TO WRAP EXTERIOR OF BUILDING.
- (3) FIRE HYDRANT
- (4) FIRE DEPARTMENT HOSE CONNECTION
- (5) BACKFLOW PREVENTION EQUIPMENT
- (6) ASPHALT PARKING LOT AS PER CIVIL ENGINEER. PROVIDE 2-1/2" ASPHALT PAVING OVER 6" GRANULAR BASE OVER COMPACTED SUBGRADE.
- (7) EXTERIOR HALOGEN FLOOD LIGHTS TO BE FULLY SHIELDED.TYPICAL. SEE ELEVATIONS.
- (8) GABBION RETAINING WALL AREA

SITE TABLE

GROSS SITE AREA:	90,334 S.F.
NET SITE AREA:	68,353 S.F.
WAREHOUSE AREA:	24,000 S.F.
PERCENTAGE OF SITE COVERAGE:	27%

LINETYPE LEGEND

- PROPERTY LINE
- SITE SETBACK/EASEMENT LINES
- SITE FEATURES
- BUILDABLE LINE
- SLAG LINE



PROJECT NUMBER
17100

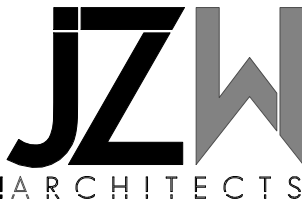
ISSUE DATE:
FEBRUARY 2, 2018

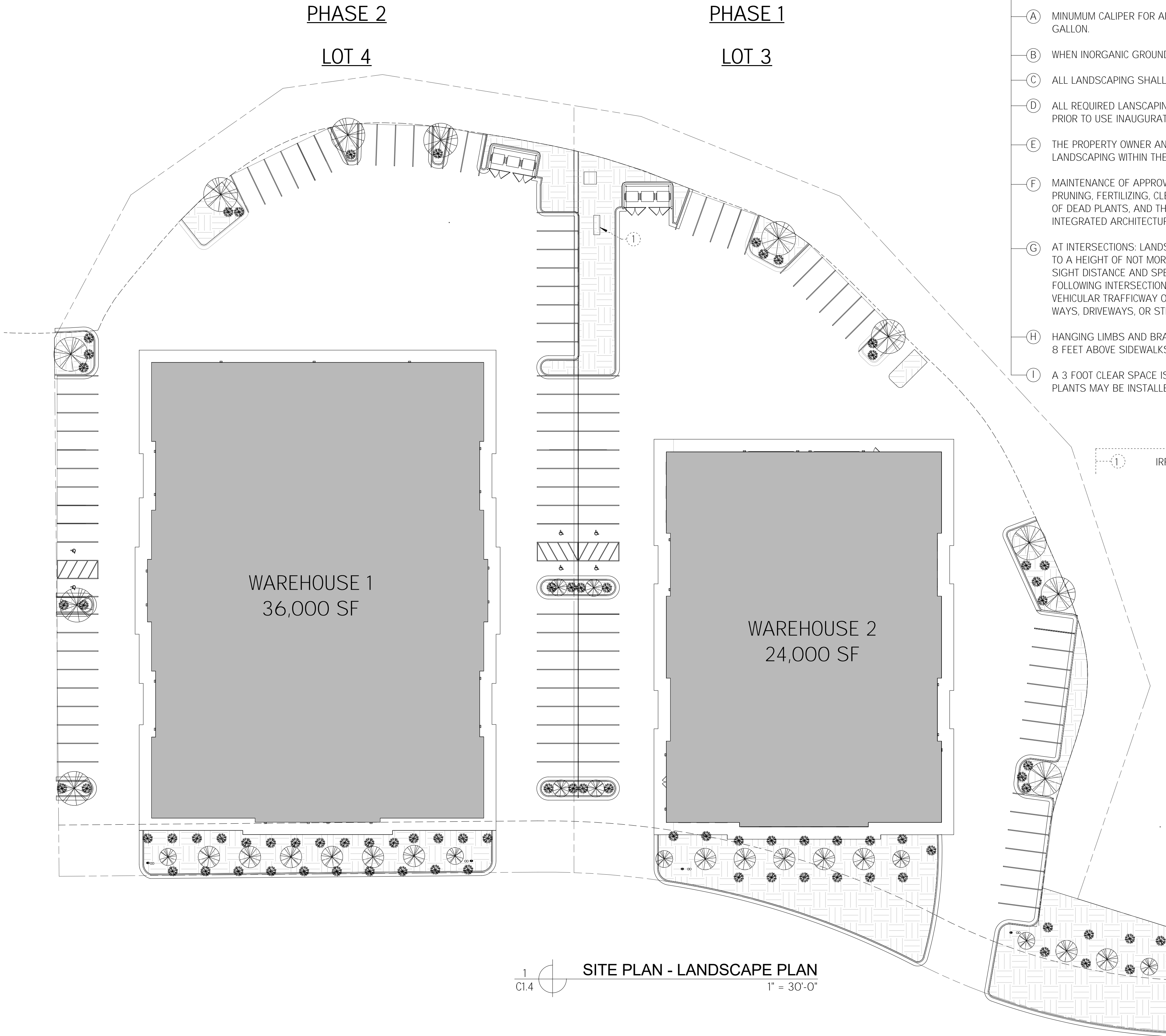
REVISIONS:
No. Date

COLUMBIA SOUTH
WAREHOUSE
VINEYARD, UTAH

SITE PLAN

C1.1





GENERAL NOTES

- (A) MINIMUM CALIPER FOR ALL TREES SHALL BE 2" AND MINIMUM SHRUB SIZE SHALL BE ONE GALLON.
- (B) WHEN INORGANIC GROUND COVER IS USED, IT SHALL BE IN COMBINATION WITH LIVE PLANTS.
- (C) ALL LANDSCAPING SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM.
- (D) ALL REQUIRED LANDSCAPING SHALL BE PROPERLY INSTALLED, IRRIGATED, AND MAINTAINED PRIOR TO USE INAUGURATION OR OCCUPANCY.
- (E) THE PROPERTY OWNER AND/OR LESSEE SHALL BE RESPONSIBLE TO INSTALL/MAINTAIN ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY.
- (F) MAINTENANCE OF APPROVED LANDSCAPING SHALL CONSIST OF REGULAR WATERING, PRUNING, FERTILIZING, CLEARING OF DEBRIS AND WEEDS, THE REMOVAL AND REPLACEMENT OF DEAD PLANTS, AND THE REPAIR AND REPLACEMENT OF IRRIGATION SYSTEMS AND INTEGRATED ARCHITECTURAL FEATURES.
- (G) AT INTERSECTIONS: LANDSCAPING ALONG ALL STREETS AND BOUNDARIES SHALL BE LIMITED TO A HEIGHT OF NOT MORE THAN THREE (3) FEET WITHIN THE AREA REQUIRED FOR MINIMUM SIGHT DISTANCE AND SPECIFIED IN THE AASHTO POLICY ON GEOMETRIC DESIGN FOR THE FOLLOWING INTERSECTIONS: A VEHICULAR TRAFFICWAY OR DRIVEWAY AND A STREET, A VEHICULAR TRAFFICWAY OR DRIVEWAY AND A SIDEWALK, TWO OR MORE VEHICULAR TRAFFIC WAYS, DRIVEWAYS, OR STREETS.
- (H) HANGING LIMBS AND BRANCH GROWTH SHALL BE MAINTAINED 13 FEET ABOVE STREETS AND 8 FEET ABOVE SIDEWALKS.
- (I) A 3 FOOT CLEAR SPACE IS REQUIRED AROUND ALL FIRE SUPPRESSION EQUIPMENT. NO PLANTS MAY BE INSTALLED THAT WILL ENCROACH UPON THIS CLEAR SPACE WHEN MATURE.

KEYED NOTES

- 1 IRRIGATION BACKFLOW PREVENTER

LINETYPE LEGEND

- PROPERTY LINE
- SITE SETBACK/EASEMENT LINES
- SITE FEATURES
- BUILDABLE LINE
- SLAG LINE

LOT AREAS:

TOTAL LOT:	181,995 SQ. FT. (4.178 ACRES)
LOT 1 BUILDING PLOT:	90,332 SQ. FT. (2.074 ACRES)
LOT 2 BUILDING PLOT:	91,661 SQ. FT. (2.104 ACRES)
LOT 1 FOOTPRINT:	24,118 SQ. FT.
LOT 2 FOOTPRINT:	35,968 SQ. FT.
TOTAL LANDSCAPING:	16,320 SQ. FT.
TOTAL ASPHALT:	67,939 SQ. FT.
TOTAL CONCRETE:	8,990 SQ. FT.

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

PARKING REQUIREMENTS: LOT 2

	SQ. FT.	CITY REQUIREMENT
OFFICE		
MAIN	4,000	14 (1/300)
WAREHOUSE		
MAIN	20,000	20 (1/1000)
TOTAL REQUIRED:		34 STALLS
TOTAL PROVIDED IN PROJECT:		47 STALLS

PARKING REQUIREMENTS: LOT 3

	SQ. FT.	CITY REQUIREMENT
OFFICE		
MAIN	10,000	33 (1/300)
WAREHOUSE		
MAIN	26,000	26 (1/1000)
TOTAL REQUIRED:		59 STALLS
TOTAL PROVIDED IN PROJECT:		60 STALLS

REFERENCED CODES:
-SECTION 1903 OF THE VINEYARD ZONING ORDINANCE UTAH CODE (FOR CITY REQUIREMENTS)

NOTES:
1. ALL AREA CALCULATIONS AREA APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

PARCEL IDENTIFICATION:

LOT 3:
TAX ID NUMBER:
ADDRESS: 201 EAST 1750 NORTH
LOT 4:
TAX ID NUMBER:
ADDRESS: 151 EAST 1750 NORTH

LANDSCAPING AREAS:

	SQ. FT.	CITY REQUIREMENT
TOTAL PARKING AREA:	71,134 SQ. FT.	5%MIN
TOTAL PARKING LANDSCAPING:	7,825 SQ. FT.	10% OF PARKING AREAS

LOT 1:
PARKING AREA:
PARKING LANDSCAPING:

31,888 SQ. FT.
5,467 SQ. FT.

LOT 2:
PARKING AREA:
PARKING LANDSCAPING:

36,051 SQ. FT.
2,325 SQ. FT.

NOTE:
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUEVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS (WALKWAYS, BIKE RACKS, CURBS AND GUTTERS) OR LANDSCAPED AREAS OUTSIDE OF THE PARKING AREAS (SEE SITE PLAN FOR SPECIFIC DIMENSIONS FOR LANDSCAPED BUFFERS).
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTIONS TOLERANCES.

NOTE: ABOVE LOT, PARKING, PARCEL AND LANDSCAPE SUMMARIES WERE OBTAINED FROM THE ARCHITECTURAL SITE PLANS AND IS FOR REFERENCE ONLY.

PLANT SCHEDULE OVERALL

DECIDUOUS TREES	BOTANICAL NAME/COMMON NAME	QTY
	'CHANTICLEER' FLOWERING PEAR (CALGARY PEAR) 30 FT. X 16 FT.	10
	ADIRONDACK CRABAPPLE 18 FT. X 10 FT.	13
	SPRING SNOW CRABAPPLE 25 FT. X 25 FT.	11
INSTALLATION OF TREES ALONG STREET FRONTAGE SHOULD BE ONE TREE FOR EVERY 20 FEET.		
SHRUBS	BOTANICAL NAME/COMMON NAME	QTY
	PEROCSKIA ATRIPLUCIFOLIA 'RUSSIAN SAGE' / RUSSIAN SAGE 5' TALL BY 3' WIDE AT MATURITY	78
INSTALLATION OF SHRUBS ALONG STREET FRONTAGE SHOULD BE 10 SHRUBS FOR EVERY 20 FEET.		
GRASS		OVERALL
	CHANSHARE FARM IMPERIAL BLUE TURF GRASS SOD BLEND	24,912 SQ. FT.

PROJECT NUMBER

17100

ISSUE DATE:

FEBRUARY 2, 2018

REVISIONS:

No. Date

COLUMBIA SOUTH
WAREHOUSE
VINEYARD, UTAH

LANDSCAPE PLAN

C1.4

JZW
ARCHITECTS

COLUMBIA SOUTH
WAREHOUSE
VINEYARD, UTAH

SOUTH AND WEST
SIDE ELEVATIONS

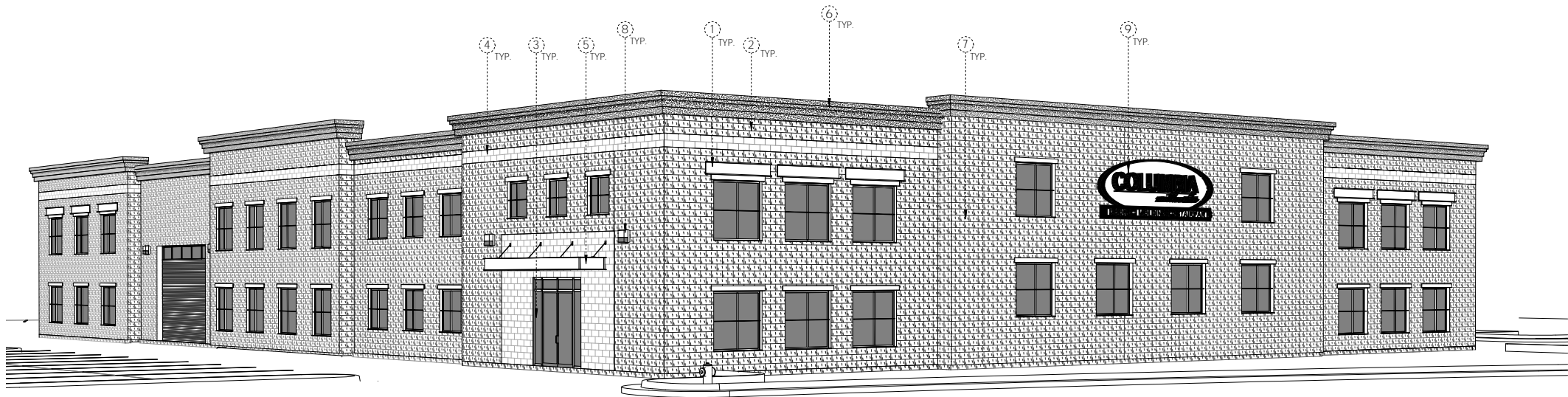
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GENERAL NOTES

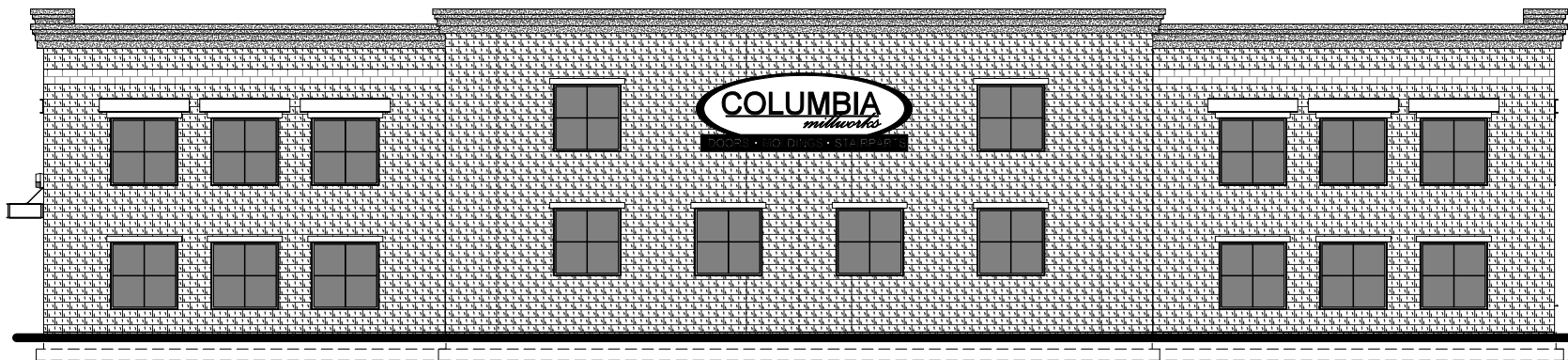
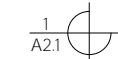
- (A) SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS
- (B) COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
- (C) COORDINATE ALL BEARING ELEVATIONS WITH ROOF FRAMING PLAN. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL FRAMING REQUIREMENTS.
- (D) SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.

KEYED NOTES

- (1) DECORATIVE C CHANNEL ABOVE WINDOW AS PER OWNER.
- (2) SPLIT FACE CMU AS PER OWNER
- (3) STOREFRONT ALUMINUM WINDOW SYSTEM.
- (4) SMOOTH FACE CMU BAND AS PER OWNER.
- (5) STEEL CANOPY AS PER OWNER.
- (6) DECORATIVE TRIM. FINISH AS PER OWNER.
- (7) SMOOTH FACE CMU AS PER OWNER.
- (8) FULLY SHIELDED EXTERIOR HALOGEN FLOOD LIGHTS.
- (9) SIGN AS PER OWNER



FRONT PERSPECTIVE

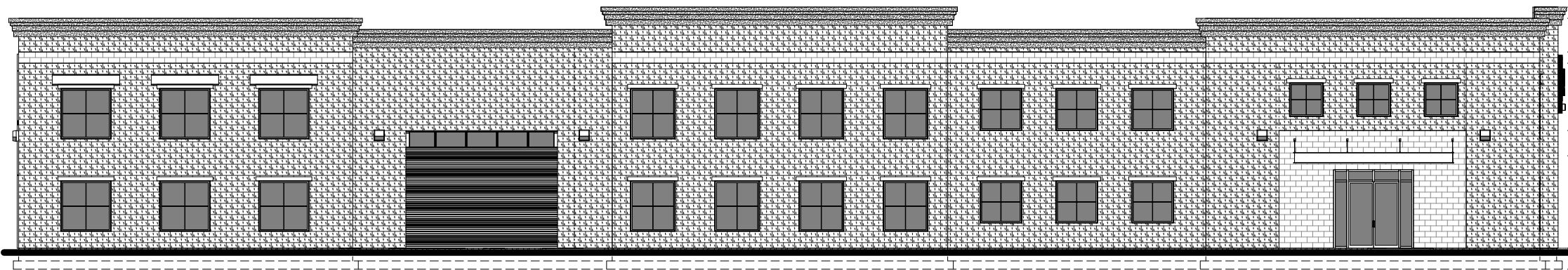


- TOP OF WALL
128' - 8"
- TOP OF WALL
127' - 4"
- TOP OF CMU BAND
123' - 4"
- TOP OF CMU BAND
122' - 0"
- TOP OF CMU
DETAILING
114' - 0"
- MEZZANINE
FINISH ELEVATION
111' - 0"

- MAIN FLOOR
FINISH ELEVATION
100' - 0"
- B.O. FOOTING
TO BE 30" BELOW
FINISH GRADE
MIN.

SOUTH ELEVATION

1/8" = 1'-0"



- TOP OF WALL
128' - 8"
- TOP OF WALL
127' - 4"
- TOP OF CMU BAND
123' - 4"
- TOP OF CMU BAND
122' - 0"
- TOP OF CMU
DETAILING
114' - 0"
- MEZZANINE
FINISH ELEVATION
111' - 0"

- MAIN FLOOR
FINISH ELEVATION
100' - 0"
- B.O. FOOTING
TO BE 30" BELOW
FINISH GRADE
MIN.

WEST ELEVATION

1/8" = 1'-0"



PROJECT NUMBER
17100

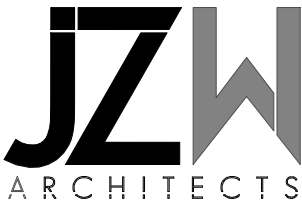
ISSUE DATE:
DECEMBER 6, 2017

REVISIONS:
No. Date

COLUMBIA SOUTH
WAREHOUSE
VINEYARD, UTAH

NORTH AND EAST
SIDE ELEVATIONS

A2.2

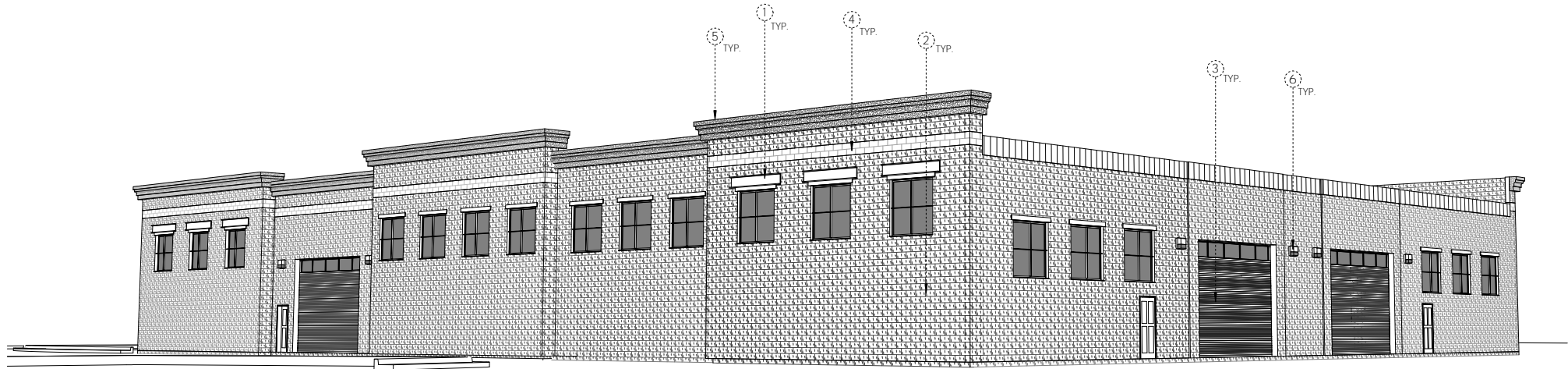


GENERAL NOTES

- (A) SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS
- (B) COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
- (C) COORDINATE ALL BEARING ELEVATIONS WITH ROOF FRAMING PLAN. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL FRAMING REQUIREMENTS.
- (D) SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.

KEYED NOTES

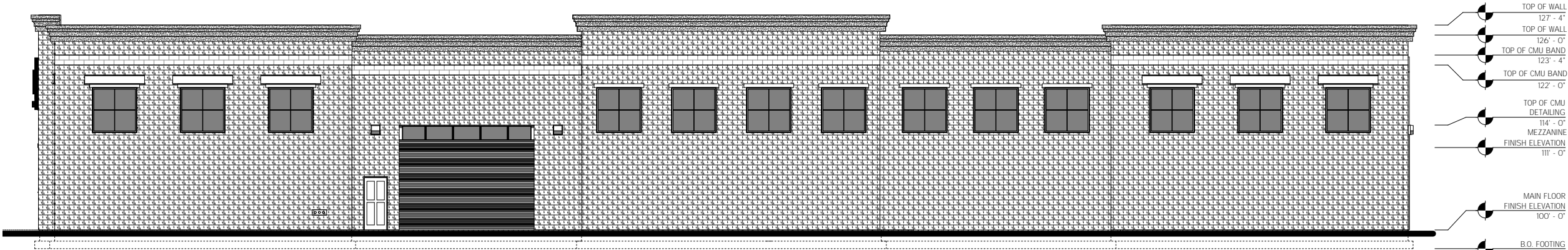
- ① DECORATIVE C CHANNEL ABOVE WINDOW AS PER OWNER.
- ② SPLIT FACE CMU AS PER OWNER
- ③ OVERHEAD DOOR AS PER FLOOR PLANS AND DOOR SCHEDULE.
- ④ SMOOTH FACE CMU BAND AS PER OWNER.
- ⑤ DECORATIVE TRIM. FINISH AS PER OWNER.
- ⑥ FULLY SHIELDED EXTERIOR HALOGEN FLOOD LIGHTS.



1
A2.2 REAR PERSPECTIVE
NTS



2
A2.2 NORTH ELEVATION
1/8" = 1'-0"

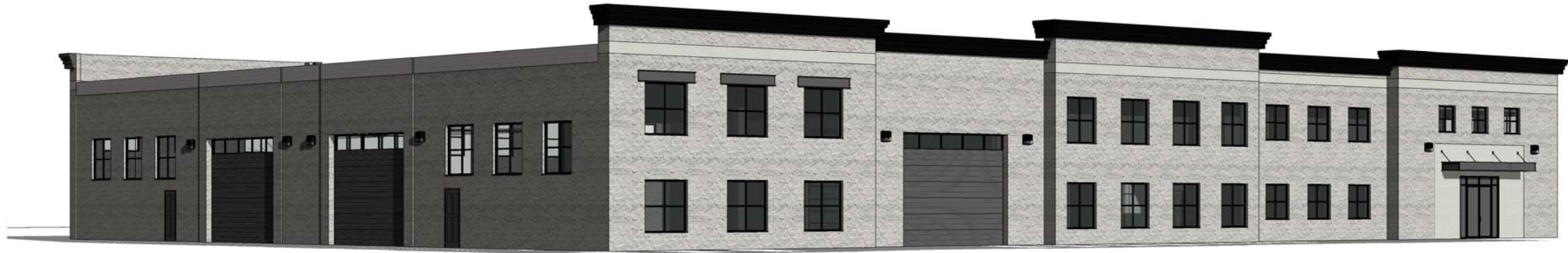


3
A2.2 EAST ELEVATION
1/8" = 1'-0"

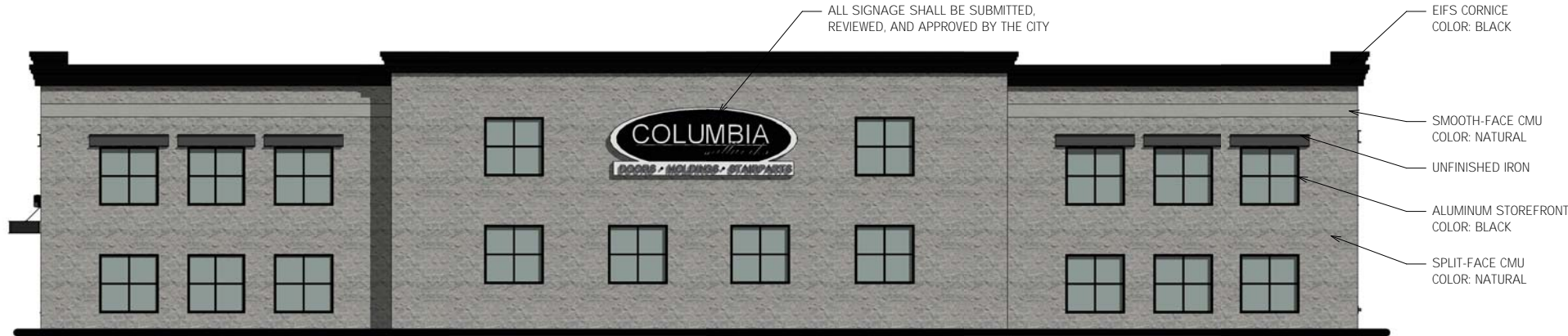
COLUMBIA SOUTH
WAREHOUSE
VINEYARD, UTAH

PERSPECTIVES

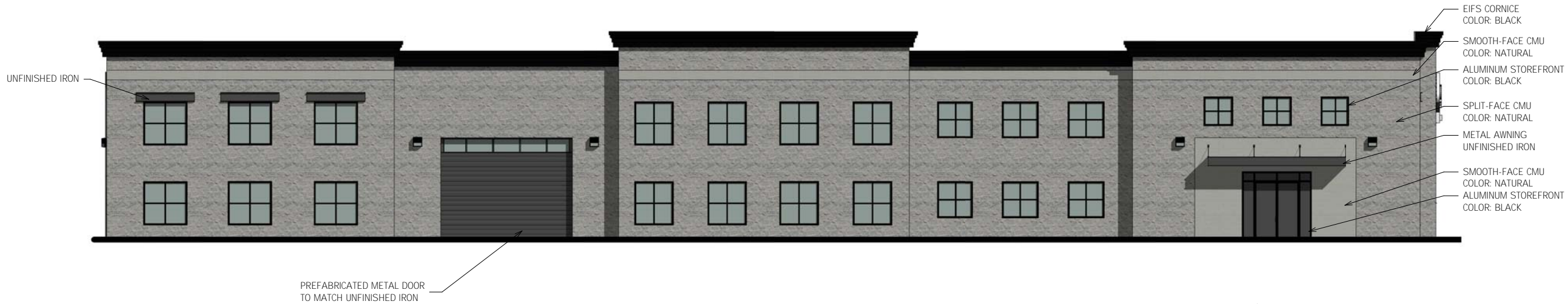
A5.4



2
A5.4 3D PERSPECTIVE



1
A5.4 SOUTH ELEVATION SAMPLE
1/8" = 1'-0"



3
A5.4 WEST ELEVATION SAMPLE
1/8" = 1'-0"

PROJECT NUMBER
18012

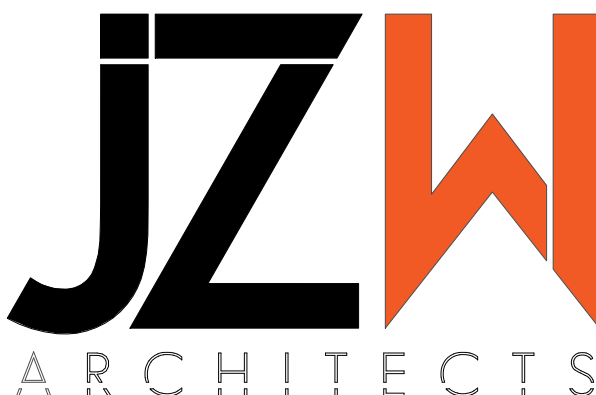
ISSUE DATE:
JANUARY 25, 2018

REVISIONS:
No. Date

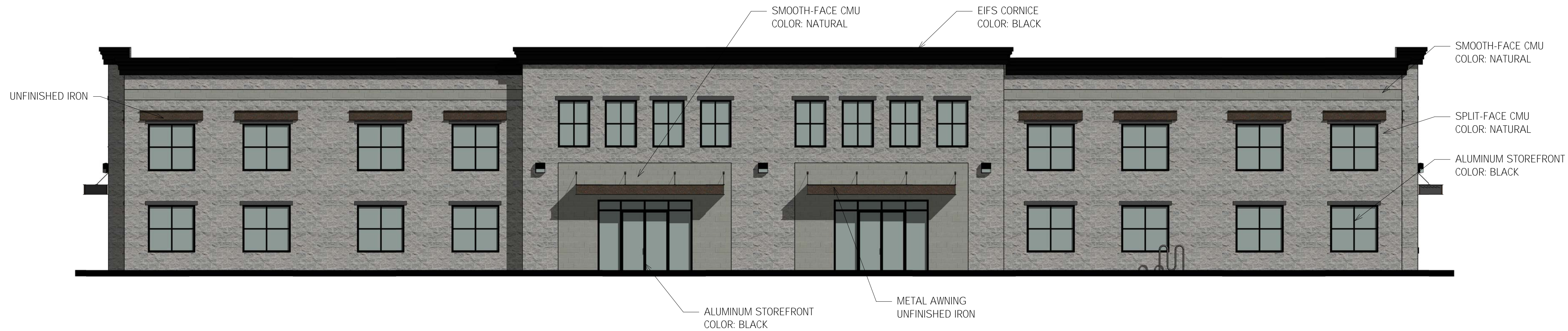
LAKEVIEW SOUTH HOLDINGS
VINEYARD, UTAH

PERSPECTIVES

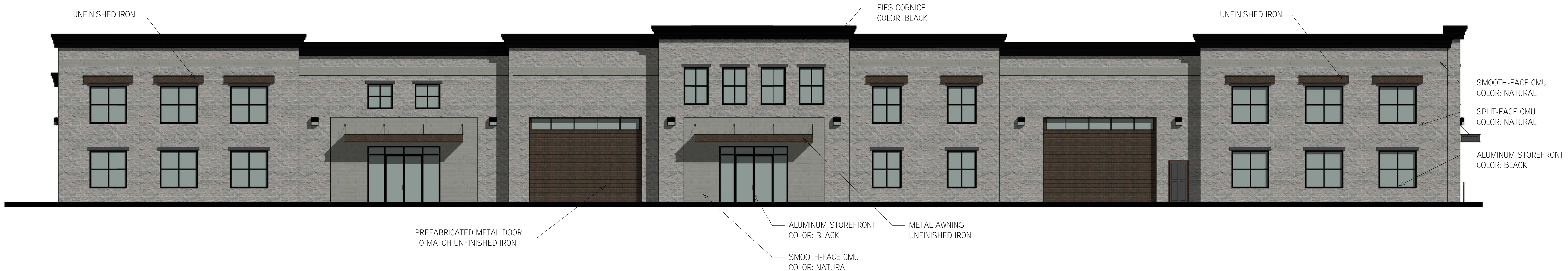
A5.5





3
A5.4 3D PERSPECTIVE



1
A5.4 FRONT ELEVATION SAMPLE
1/8" = 1'-0"

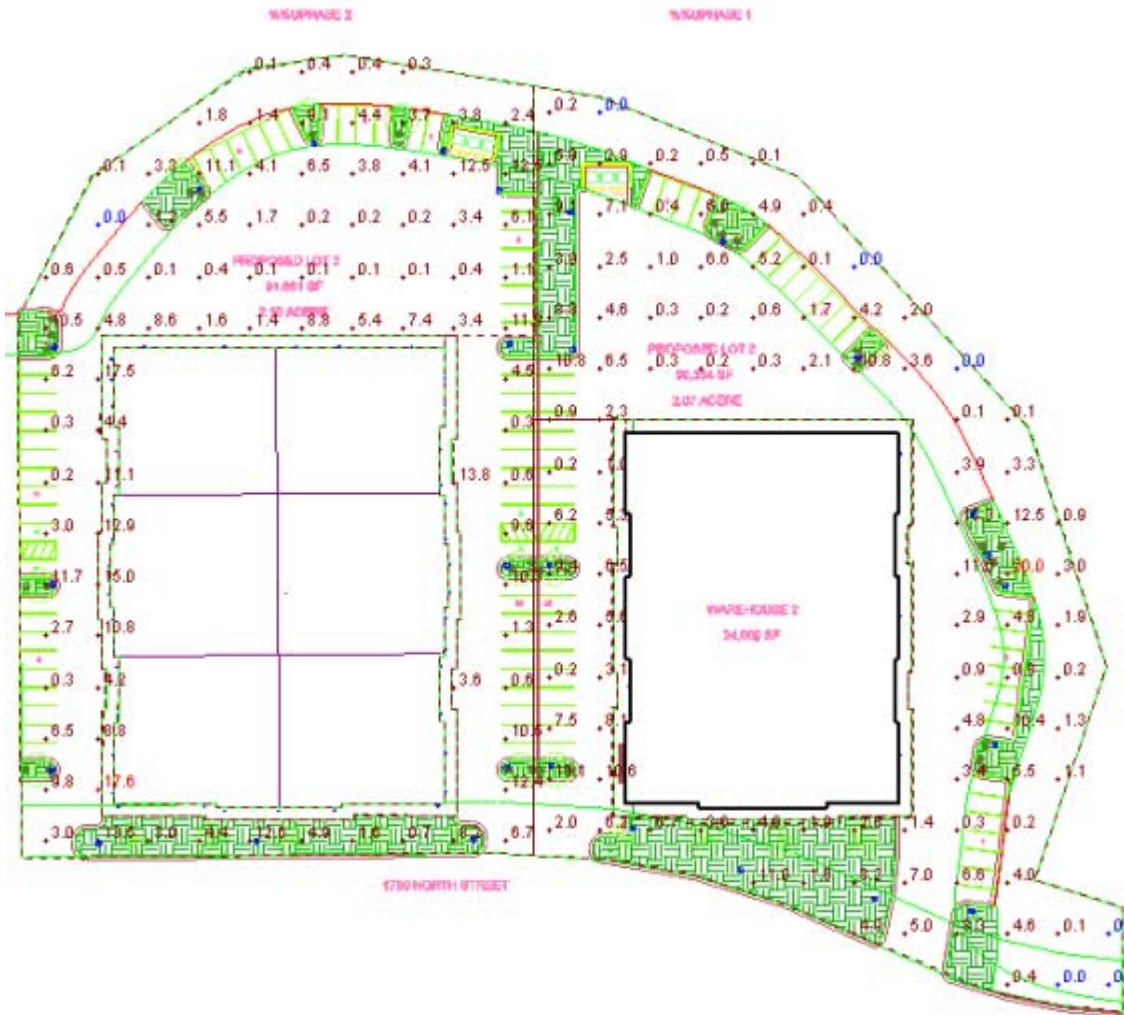


2
A5.4 LEFT ELEVATION SAMPLE
1/8" = 1'-0"

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	27	Lithonia Lighting	KADRD 60C 700 50K R5 MVOLT	KADRD LED, 60 LED, 700mA MVOLT DRIVER, 5000K, TYPE S OPTICS.	LED	1	KADRD_LED_60C_700_50K_R5_MVOLT.ies	17066	1	137
	B	57	Lithonia Lighting	TWAC 100M	SPECIFICATION BUILDING MOUNTED LUMINAIRE, 100W MH, W/CLEAR LAMP.	ONE 100-WATT CLEAR ED-17 METAL HALIDE, HORIZONTAL POSITION.	1	TWAC_100M.ies	8500	1	140

Statistics						
Description	Symbol	Avg	Max/Min	Max	Min	Avg/Min
parking 2	+	5.0 fc	N/A	17.6 fc	0.0 fc	N/A
Parking Lot	+	3.9 fc	N/A	20.0 fc	0.0 fc	N/A
Perimeter	+	N/A	N/A	N/A	N/A	N/A
perimeter 2	+	N/A	N/A	N/A	N/A	N/A

Luminaire Locations										
Location							Aim			
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	A	-29.38	-486.77	10.00	10.00	180.00	0.00	-29.38	-488.52	0.00
2	A	-32.08	-421.56	10.00	10.00	90.00	0.00	-30.33	-421.56	0.00
3	A	44.69	-434.38	10.00	10.00	200.00	0.00	44.09	-436.02	0.00
4	A	111.77	-492.08	10.00	10.00	260.00	0.00	110.05	-492.39	0.00
5	A	175.73	-588.13	10.00	10.00	260.00	0.00	174.01	-588.43	0.00
6	A	184.48	-603.13	10.00	10.00	260.00	0.00	182.76	-603.43	0.00
7	A	168.54	-568.13	10.00	10.00	260.00	0.00	166.82	-568.43	0.00
8	A	177.71	-682.60	10.00	10.00	0.00	0.00	177.71	-680.85	0.00
9	A	166.25	-763.75	10.00	10.00	0.00	0.00	166.25	-762.00	0.00
10	A	117.10	-756.04	10.00	10.00	90.00	0.00	118.94	-756.04	0.00
11	A	1.98	-721.67	10.00	10.00	270.00	0.00	0.23	-721.67	0.00
12	A	52.71	-740.00	10.00	10.00	180.00	0.00	52.71	-741.75	0.00
13	A	-40.00	-692.81	10.00	10.00	0.00	0.00	-40.00	-691.06	0.00
14	A	-41.04	-595.31	10.00	10.00	0.00	0.00	-41.04	-593.56	0.00
15	A	-260.62	-728.96	10.00	10.00	271.97	0.00	-262.37	-728.89	0.00
16	A	-184.38	-729.27	10.00	10.00	0.00	0.00	-184.38	-727.52	0.00
17	A	-79.79	-727.08	10.00	10.00	90.00	0.00	-78.04	-727.08	0.00
18	A	-41.88	-693.75	10.00	10.00	0.00	0.00	-41.88	-692.00	0.00
19	A	-62.08	-595.00	10.00	10.00	0.00	0.00	-62.08	-593.25	0.00
20	A	-60.42	-487.19	10.00	10.00	0.00	0.00	-60.42	-485.44	0.00
21	A	-64.03	-410.75	10.00	10.00	267.95	0.00	-65.78	-410.81	0.00
22	A	-156.49	-386.46	10.00	10.00	179.54	0.00	-156.48	-388.21	0.00
23	A	-214.27	-411.21	10.00	10.00	52.65	0.00	-212.88	-410.15	0.00
24	A	-285.73	-487.08	10.00	10.00	90.00	0.00	-283.98	-487.08	0.00
25	A	-284.90	-604.17	10.00	10.00	0.00	0.00	-284.90	-602.42	0.00
26	A	-285.10	-694.90	10.00	10.00	0.00	0.00	-285.10	-693.15	0.00
27	A	-92.79	-390.11	10.00	10.00	194.04	0.00	-93.21	-391.81	0.00
1	B	34.48	-528.85	10.00	10.00	0.00	0.00	34.48	-528.60	0.00
2	B	60.52	-528.85	10.00	10.00	0.00	0.00	60.52	-528.60	0.00
3	B	66.56	-528.85	10.00	10.00	0.00	0.00	66.56	-528.60	0.00
4	B	128.54	-642.29	10.00	10.00	90.00	0.00	128.79	-642.29	0.00
5	B	128.54	-666.67	10.00	10.00	90.00	0.00	128.79	-666.67	0.00
6	B	-3.54	-703.02	10.00	10.00	270.00	0.00	-3.79	-703.02	0.00
7	B	-3.65	-676.46	10.00	10.00	270.00	0.00	-3.90	-676.46	0.00
8	B	-1.46	-596.04	10.00	10.00	270.00	0.00	-1.71	-596.04	0.00
9	B	-1.46	-571.67	10.00	10.00	270.00	0.00	-1.71	-571.67	0.00
10	B	-3.54	-534.06	10.00	10.00	270.00	0.00	-3.79	-534.06	0.00
11	B	-3.75	-617.60	10.00	10.00	270.00	0.00	-4.00	-617.60	0.00
12	B	-1.46	-652.60	10.00	10.00	270.00	0.00	-1.71	-652.60	0.00
13	B	130.83	-685.52	10.00	10.00	90.00	0.00	131.08	-685.52	0.00
14	B	130.83	-618.33	10.00	10.00	90.00	0.00	131.08	-618.33	0.00
15	B	130.94	-539.06	10.00	10.00	90.00	0.00	131.19	-539.06	0.00
16	B	118.65	-709.27	10.00	10.00	180.00	0.00	118.65	-709.52	0.00
17	B	-108.54	-487.29	10.00	10.00	0.00	0.00	-108.54	-487.04	0.00
18	B	-143.96	-487.29	10.00	10.00	0.00	0.00	-143.96	-487.04	0.00
19	B	-164.90	-487.40	10.00	10.00	0.00	0.00	-164.90	-487.15	0.00
20	B	-200.63	-487.29	10.00	10.00	0.00	0.00	-200.63	-487.04	0.00
21	B	-239.69	-487.29	10.00	10.00	0.00	0.00	-239.69	-487.04	0.00
22	B	-92.60	-492.29	10.00	10.00	90.00	0.00	-92.35	-492.29	0.00
24	B	-92.50	-502.40	10.00	10.00	90.00	0.00	-92.25	-502.40	0.00
25	B	-92.60	-515.42	10.00	10.00	90.00	0.00	-92.35	-515.42	0.00
26	B	-94.69	-537.08	10.00	10.00	90.00	0.00	-94.44	-537.08	0.00
27	B	-94.38	-554.17	10.00	10.00	90.00	0.00	-94.13	-554.17	0.00
28	B	-90.42	-593.23	10.00	10.00	90.00	0.00	-90.17	-593.23	0.00
29	B	-90.42	-606.77	10.00	10.00	90.00	0.00	-90.17	-606.77	0.00
30	B	-92.50	-563.54	10.00	10.00	90.00	0.00	-92.25	-563.54	0.00
31	B	-92.40	-580.21	10.00	10.00	90.00	0.00	-92.15	-580.21	0.00
32	B	-92.29	-619.27	10.00	10.00	90.00	0.00	-92.04	-619.27	0.00
33	B	-92.50	-634.48	10.00	10.00	90.00	0.00	-92.25	-634.48	0.00
34	B	-94.48	-642.29	10.00	10.00	90.00	0.00	-94.23	-642.29	0.00
35	B	-94.38	-665.83	10.00	10.00	90.00	0.00	-94.13	-665.83	0.00
36	B	-92.29	-685.10	10.00	10.00	90.00	0.00	-92.04	-685.10	0.00
37	B	-92.29	-703.75	10.00	10.00	90.00	0.00	-92.04	-703.75	0.00
38	B	-95.72	-710.25	10.00	10.00	179.57	0.00	-95.72	-710.50	0.00
39	B	-146.66	-712.40	10.00	10.00	179.57	0.00	-146.66	-712.65	0.00
40	B	-173.63	-712.58	10.00	10.00	179.57	0.00	-173.63	-712.83	0.00
41	B	-200.40	-712.69	10.00	10.00	179.57	0.00	-200.40	-712.94	0.00
42	B	-252.59	-710.56	10.00	10.00	179.57	0.00	-252.59	-710.81	0.00
43	B	-210.09	-710.66	10.00	10.00	179.57	0.00	-210.09	-710.91	0.00
44	B	-255.54	-493.00	10.00	10.00	269.50	0.00	-255.79	-493.01	0.00
46	B	-255.56	-503.11	10.00	10.00	269.50	0.00	-255.81	-503.11	0.00
47	B	-255.34	-516.13	10.00	10.00	269.50	0.00	-255.59	-516.13	0.00
48	B	-253.07	-537.77	10.00	10.00	269.50	0.00	-253.32	-537.78	0.00
49	B	-253.23	-554.86	10.00	10.00	269.50	0.00	-253.48	-554.86	0.00
50	B	-256.85	-593.96	10.00	10.00	269.50	0.00	-257.10	-593.96	0.00
51	B	-256.73	-607.50	10.00	10.00	269.50	0.00	-256.98	-607.50	0.00
52	B	-255.03	-564.25	10.00	10.00	269.50	0.00	-255.28	-564.25	0.00
53	B	-254.99	-580.92	10.00	10.00	269.50	0.00	-255.24	-580.92	0.00
54	B	-254.75	-619.98	10.00	10.00	269.50	0.00	-255.00	-619.98	0.00
55	B	-254.41	-635.19	10.00	10.00	269.50	0.00	-254.66	-635.19	0.00
56	B	-252.99	-642.98	10.00	10.00	269.50	0.00	-253.24	-642.98	0.00
57	B	-252.89	-666.52	10.00	10.00	269.50	0.00	-253.14	-666.52	0.00
58	B	-254.80	-685.81	10.00	10.00	269.50	0.00	-255.05	-685.81	0.00
59	B	-254.64	-704.46	10.00	10.00	269.50	0.00	-254.89	-704.46	0.00

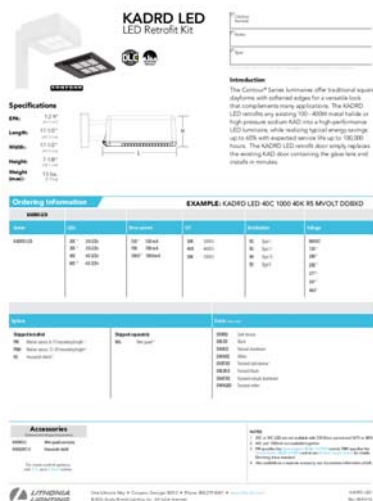
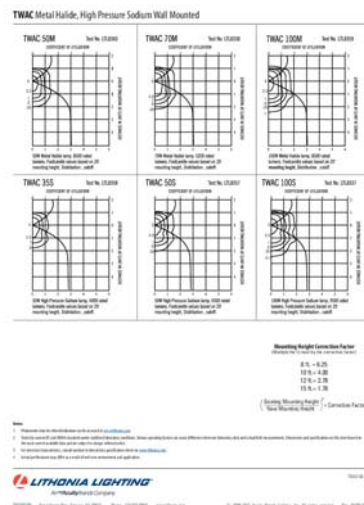
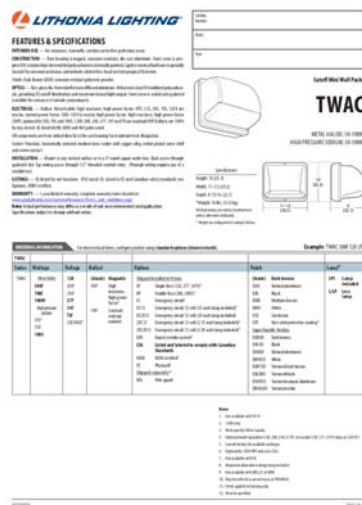


Current View



COLUMBIA SOUTH WAREHOUSE

Designer
JZW ARCHITECTS
Date
12/18/2017
Scale
Not to Scale
Drawing No.
Summary



Performance Data

Learn Output

Table 1: Performance data for the learned output. The table shows the performance metrics for different models and datasets. The metrics are: Accuracy, Precision, Recall, F1 Score, and AUC. The models are: Logistic Regression, Support Vector Machine, Random Forest, and Gradient Boosting. The datasets are: MNIST, CIFAR-10, and CIFAR-100. The performance is shown for different values of the learning rate (LR) and the number of epochs (E). The best performance is highlighted in bold.

Model	Dataset	LR	E	Performance Metrics				
				Accuracy	Precision	Recall	F1 Score	AUC
Logistic Regression	MNIST	0.01	10	0.98	0.98	0.98	0.98	0.98
		0.01	20	0.98	0.98	0.98	0.98	0.98
		0.01	50	0.98	0.98	0.98	0.98	0.98
		0.01	100	0.98	0.98	0.98	0.98	0.98
	CIFAR-10	0.01	10	0.92	0.92	0.92	0.92	0.92
		0.01	20	0.92	0.92	0.92	0.92	0.92
		0.01	50	0.92	0.92	0.92	0.92	0.92
		0.01	100	0.92	0.92	0.92	0.92	0.92
	CIFAR-100	0.01	10	0.85	0.85	0.85	0.85	0.85
		0.01	20	0.85	0.85	0.85	0.85	0.85
		0.01	50	0.85	0.85	0.85	0.85	0.85
		0.01	100	0.85	0.85	0.85	0.85	0.85
Support Vector Machine	MNIST	0.01	10	0.97	0.97	0.97	0.97	0.97
		0.01	20	0.97	0.97	0.97	0.97	0.97
		0.01	50	0.97	0.97	0.97	0.97	0.97
		0.01	100	0.97	0.97	0.97	0.97	0.97
	CIFAR-10	0.01	10	0.91	0.91	0.91	0.91	0.91
		0.01	20	0.91	0.91	0.91	0.91	0.91
		0.01	50	0.91	0.91	0.91	0.91	0.91
		0.01	100	0.91	0.91	0.91	0.91	0.91
	CIFAR-100	0.01	10	0.84	0.84	0.84	0.84	0.84
		0.01	20	0.84	0.84	0.84	0.84	0.84
		0.01	50	0.84	0.84	0.84	0.84	0.84
		0.01	100	0.84	0.84	0.84	0.84	0.84
Random Forest	MNIST	0.01	10	0.99	0.99	0.99	0.99	0.99
		0.01	20	0.99	0.99	0.99	0.99	0.99
		0.01	50	0.99	0.99	0.99	0.99	0.99
		0.01	100	0.99	0.99	0.99	0.99	0.99
	CIFAR-10	0.01	10	0.93	0.93	0.93	0.93	0.93
		0.01	20	0.93	0.93	0.93	0.93	0.93
		0.01	50	0.93	0.93	0.93	0.93	0.93
		0.01	100	0.93	0.93	0.93	0.93	0.93
	CIFAR-100	0.01	10	0.86	0.86	0.86	0.86	0.86
		0.01	20	0.86	0.86	0.86	0.86	0.86
		0.01	50	0.86	0.86	0.86	0.86	0.86
		0.01	100	0.86	0.86	0.86	0.86	0.86
Gradient Boosting	MNIST	0.01	10	0.98	0.98	0.98	0.98	0.98
		0.01	20	0.98	0.98	0.98	0.98	0.98
		0.01	50	0.98	0.98	0.98	0.98	0.98
		0.01	100	0.98	0.98	0.98	0.98	0.98
	CIFAR-10	0.01	10	0.92	0.92	0.92	0.92	0.92
		0.01	20	0.92	0.92	0.92	0.92	0.92
		0.01	50	0.92	0.92	0.92	0.92	0.92
		0.01	100	0.92	0.92	0.92	0.92	0.92
	CIFAR-100	0.01	10	0.85	0.85	0.85	0.85	0.85
		0.01	20	0.85	0.85	0.85	0.85	0.85
		0.01	50	0.85	0.85	0.85	0.85	0.85
		0.01	100	0.85	0.85	0.85	0.85	0.85

Performance Data

Lumen Ambient Temperature LAC Multipliers
 (at 25°C ambient temperature)

LED Temp (°C)	1000lm	1500lm	2000lm	2500lm	3000lm	3500lm	4000lm	4500lm	5000lm
25	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
35	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98
45	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
55	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90
65	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85	0.85
75	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80
85	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75
95	0.70	0.70	0.70	0.70	0.70	0.70	0.70	0.70	0.70

Projected LED Lifetime Maintenance
 (at 25°C ambient temperature)

LED Temp (°C)	1000lm	1500lm	2000lm	2500lm	3000lm	3500lm	4000lm	4500lm	5000lm
25	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000
35	48,000	48,000	48,000	48,000	48,000	48,000	48,000	48,000	48,000
45	45,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000	45,000
55	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000	40,000
65	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000	35,000
75	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000
85	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000	25,000
95	20,000	20,000	20,000	20,000	20,000	20,000	20,000	20,000	20,000

Electrical Load

LED Temp (°C)	1000lm	1500lm	2000lm	2500lm	3000lm	3500lm	4000lm	4500lm	5000lm
25	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50
35	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50
45	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50
55	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50
65	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50
75	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50
85	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50
95	0.10	0.15	0.20	0.25	0.30	0.35	0.40	0.45	0.50

Notes:
 1. LED Temp is the temperature of the LED die, not the ambient temperature.
 2. LED Temp is the temperature of the LED die, not the ambient temperature.
 3. LED Temp is the temperature of the LED die, not the ambient temperature.
 4. LED Temp is the temperature of the LED die, not the ambient temperature.
 5. LED Temp is the temperature of the LED die, not the ambient temperature.
 6. LED Temp is the temperature of the LED die, not the ambient temperature.
 7. LED Temp is the temperature of the LED die, not the ambient temperature.
 8. LED Temp is the temperature of the LED die, not the ambient temperature.
 9. LED Temp is the temperature of the LED die, not the ambient temperature.
 10. LED Temp is the temperature of the LED die, not the ambient temperature.

[illegible]

COLUMBIA SOUTH WAREHOUSE

Designer
JZW ARCHITECTS

Date

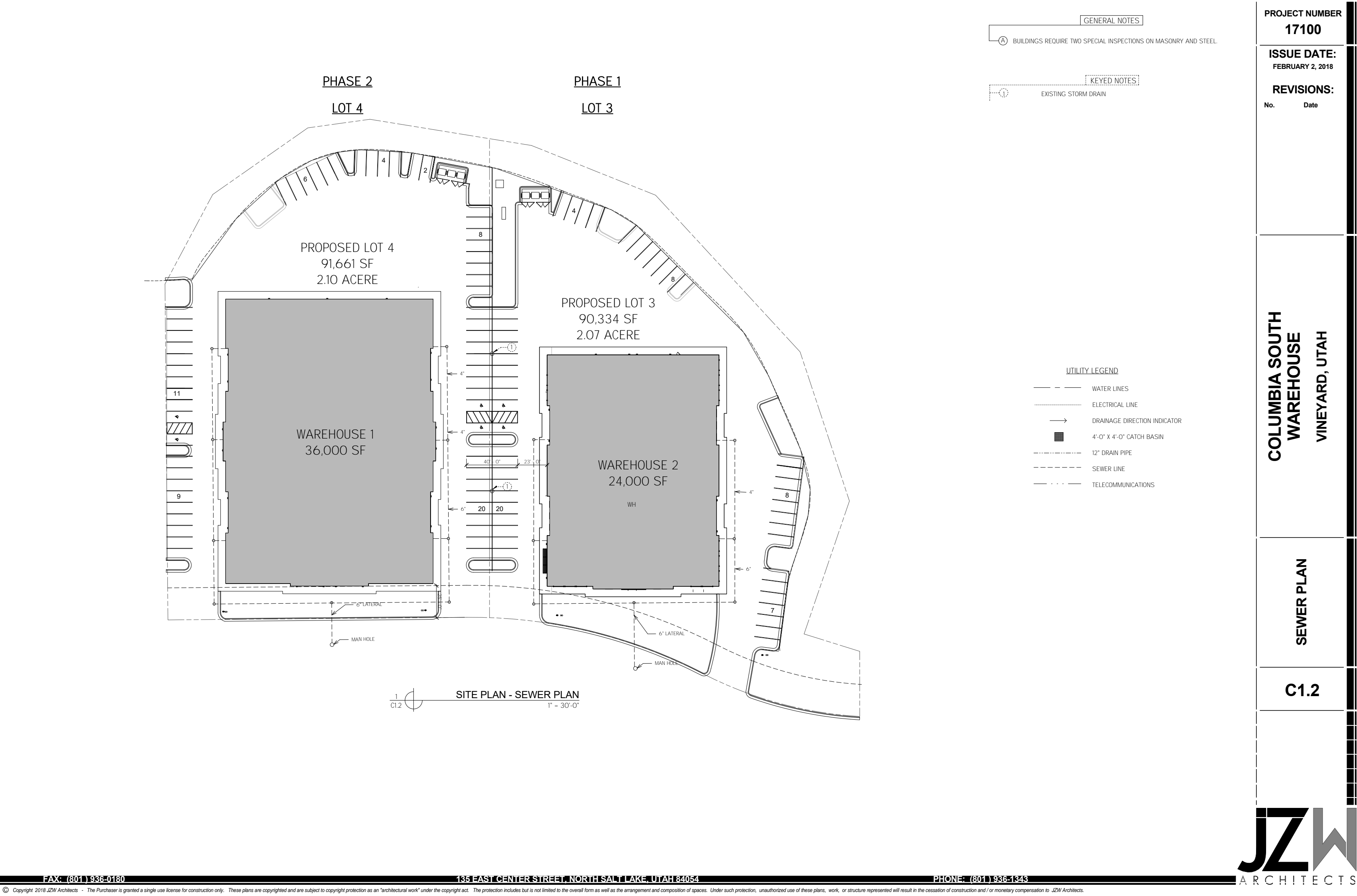
12/18/2017

Scale

Not to Scale

Drawing No.

Summary



GENERAL NOTES

A BUILDINGS REQUIRE TWO SPECIAL INSPECTIONS ON MASONRY AND STEEL.

KEYED NOTES

1 EXISTING STORM DRAIN

PROJECT NUMBER

17100

ISSUE DATE:

FEBRUARY 2, 2018

REVISIONS:

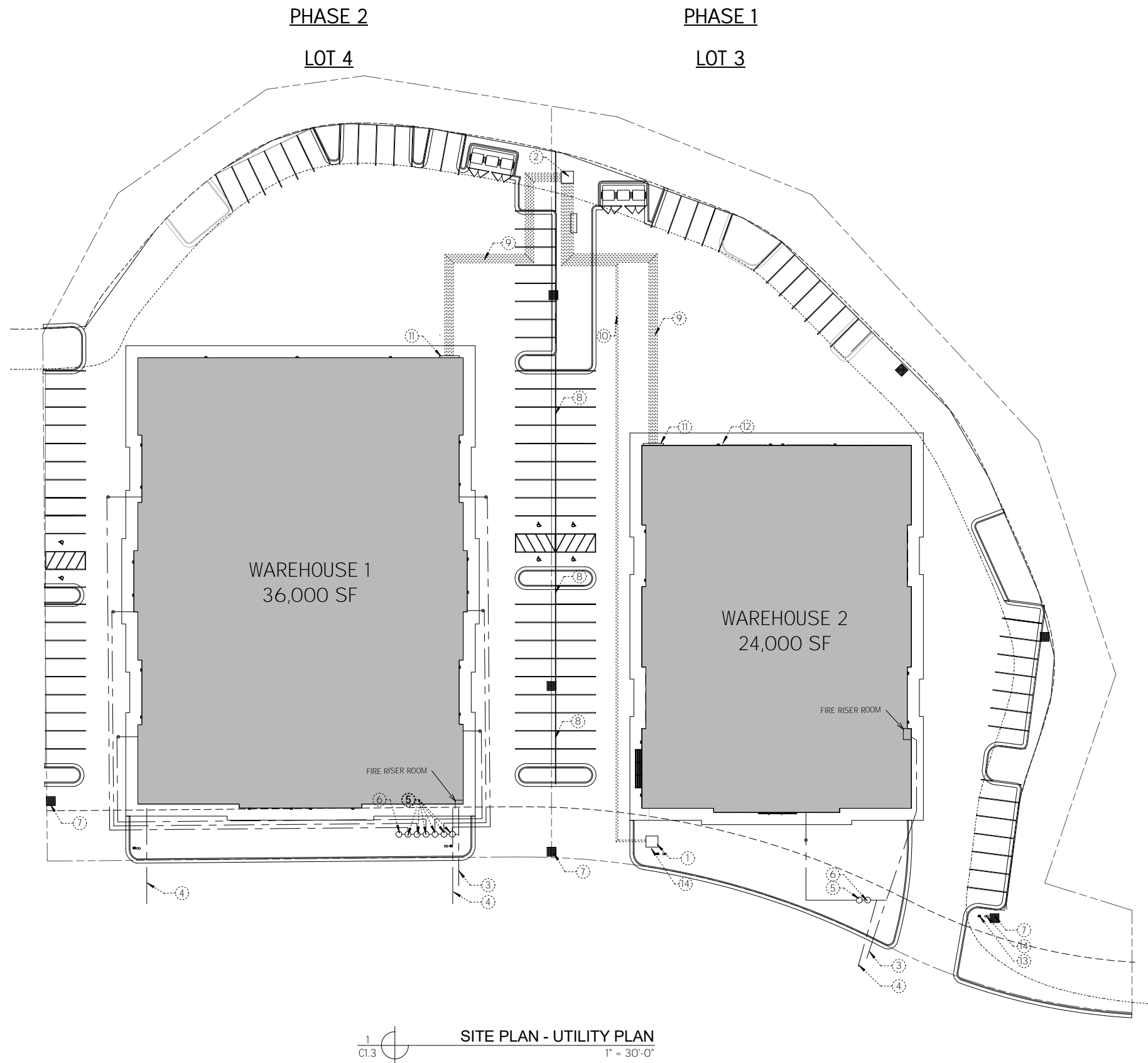
No. Date

COLUMBIA SOUTH
WAREHOUSE
VINEYARD, UTAH

SEWER PLAN

C1.2

JZW
ARCHITECTS



GENERAL NOTES

A BUILDINGS REQUIRE TWO SPECIAL INSPECTIONS ON MASONRY AND STEEL.

KEYED NOTES

- 1 SECTION JUNCTION BOX.
- 2 TRANSFORMER
- 3 8" WATER LINE. SADDLE WITH SEVEN WATER LINES.
- 4 SEWER LINE
- 5 WATER METER
- 6 LANDSCAPE WATER METER
- 7 EXISTING STORM DRAIN
- 8 FENCE AS PER OWNER
- 9 (6) 4" CONDUIT LINES FROM TRANSFORMER TO BUILDING
- 10 (2) 4" CONDUIT LINES FROM TRANSFORMER TO THE SECTION JUNCTION BOX.
- 11 ELECTRICAL METERS
- 12 EXTERIOR HALOGEN FLOOD LIGHTS TO BE FULLY SHIELDED, TYPICAL. SEE ELEVATIONS.
- 13 FIRE HYDRANT
- 14 BACKFLOW PREVENTION EQUIPMENT

UTILITY LEGEND

- WATER LINES
- ELECTRICAL LINE
- DRAINAGE DIRECTION INDICATOR
- 4'-0" X 4'-0" CATCH BASIN
- 12" DRAIN PIPE
- SEWER LINE
- TELECOMMUNICATIONS

LINETYPE LEGEND

- PROPERTY LINE
- SITE SETBACK/EASEMENT LINES
- SITE FEATURES
- BUILDABLE LINE
- SLAG LINE

NOTE: THIS PROJECT WILL REQUIRE AN OBSERVATION INSPECTION FOR THE COMPACTION OF THE SIDEWALK, BUILDING, CURBING AND PARKING LOT. THE BUILDING REQUIRES TWO SPECIAL INSPECTIONS ON THE MASONRY AND THE STEEL.

NOTE: CONTRACTOR TO REMOVE AND RECOMPACT THE UNDOCUMENTED FILL BENEATH THE BUILDING FOOTPRINTS, FLATWORK AND PAVEMENT AS PER GEOTECHNICAL

PROJECT NUMBER

17100

ISSUE DATE:

FEBRUARY 2, 2018

REVISIONS:

No. Date

COLUMBIA SOUTH
WAREHOUSE
VINEYARD, UTAH

UTILITY PLAN

C1.3

JZW
ARCHITECTS

GENERAL NOTES

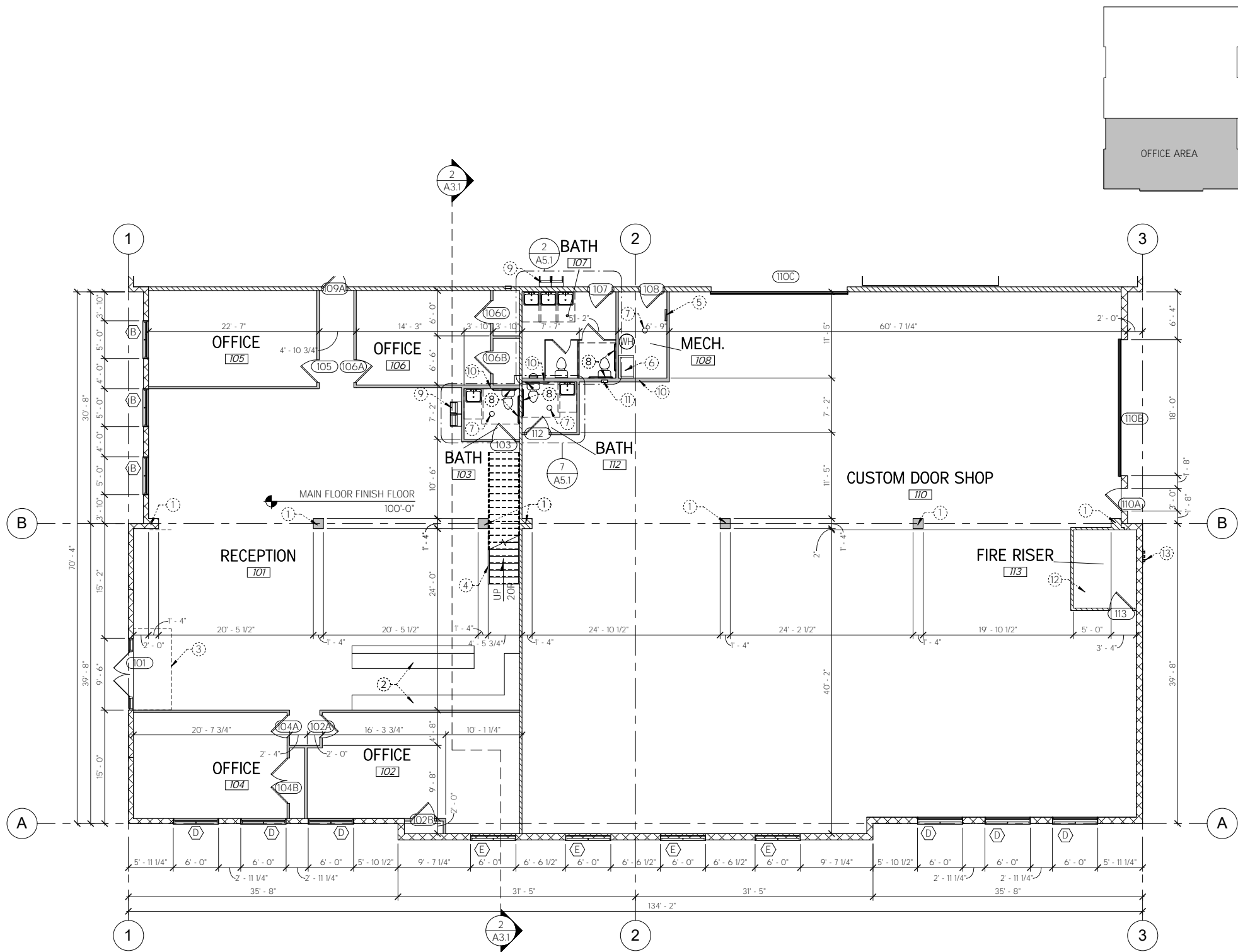
- (A) SEE GENERAL NOTES ON SHEET T1.2 FOR ADDITIONAL REQUIREMENTS.
- (B) DIMENSIONS TO DOORS AND WINDOWS ARE TO SIDES OF FRAMED OPENING UNLESS NOTED OTHERWISE.
- (C) SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
- (D) COORDINATE ALL WINDOW HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND WINDOW SCHEDULE.
- (E) FIRE SPRINKLING SYSTEM IS REQUIRED.

KEYED NOTES

- (1) COORDINATE ALL POSTS WITH STRUCTURAL. COLUMNS TO BE PAINT OVER WOOD FRAME AND POST.
- (2) BUILT-IN MILLWORK AS INDICATED IN FLOOR PLANS. COORDINATE WITH CABINET MANUFACTURER.
- (3) DASHED LINE INDICATES AREA IS OPEN TO ABOVE
- (4) RAILING TO CONFORM TO CURRENT I.B.C. REQUIREMENTS. SEE GENERAL FINISH NOTES.
- (5) ELECTRICAL PANEL LOCATION
- (6) PROVIDE MOP SINK IN MECHANICAL ROOM AS REQUIRED
- (7) FLOOR DRAIN WITH TRAP AND PRIMER
- (8) GRAB BARS AS INDICATED.
- (9) PROVIDE HIGH / LOW DRINKING FOUNTAIN AS REQUIRED.
- (10) 2X6 PLUMBING WALL
- (11) PROVIDE FIRE EXTINGUISHER AND CABINET AS PER I.F.C.
- (12) FIRE RISER TO BE LOCATED IN THIS ROOM.
- (13) FIRE DEPARTMENT HOSE CONNECTION

WALL TYPES

- 10X16 CMU WALL AS PER STRUCTURAL DRAWINGS
- 8X16 CMU WALL AS PER STRUCTURAL DRAWINGS
- 1 HOUR RATED 2X8 WALL AS PER DETAIL 1/A5.2
- 1 HOUR RATED 2X6 WALL AS PER DETAIL 6/A5.2
- 1 HOUR RATED 2X4 WALL AS PER DETAIL 5/A5.2
- 2X4 NON RATED WALL AS PER DETAIL 2/A5.2
- 2X6 NON RATED WALL AS PER DETAIL 4/A5.2



ENLARGED MAIN FLOOR PLAN A
AND D



1/8" = 1'-0"

GENERAL NOTES

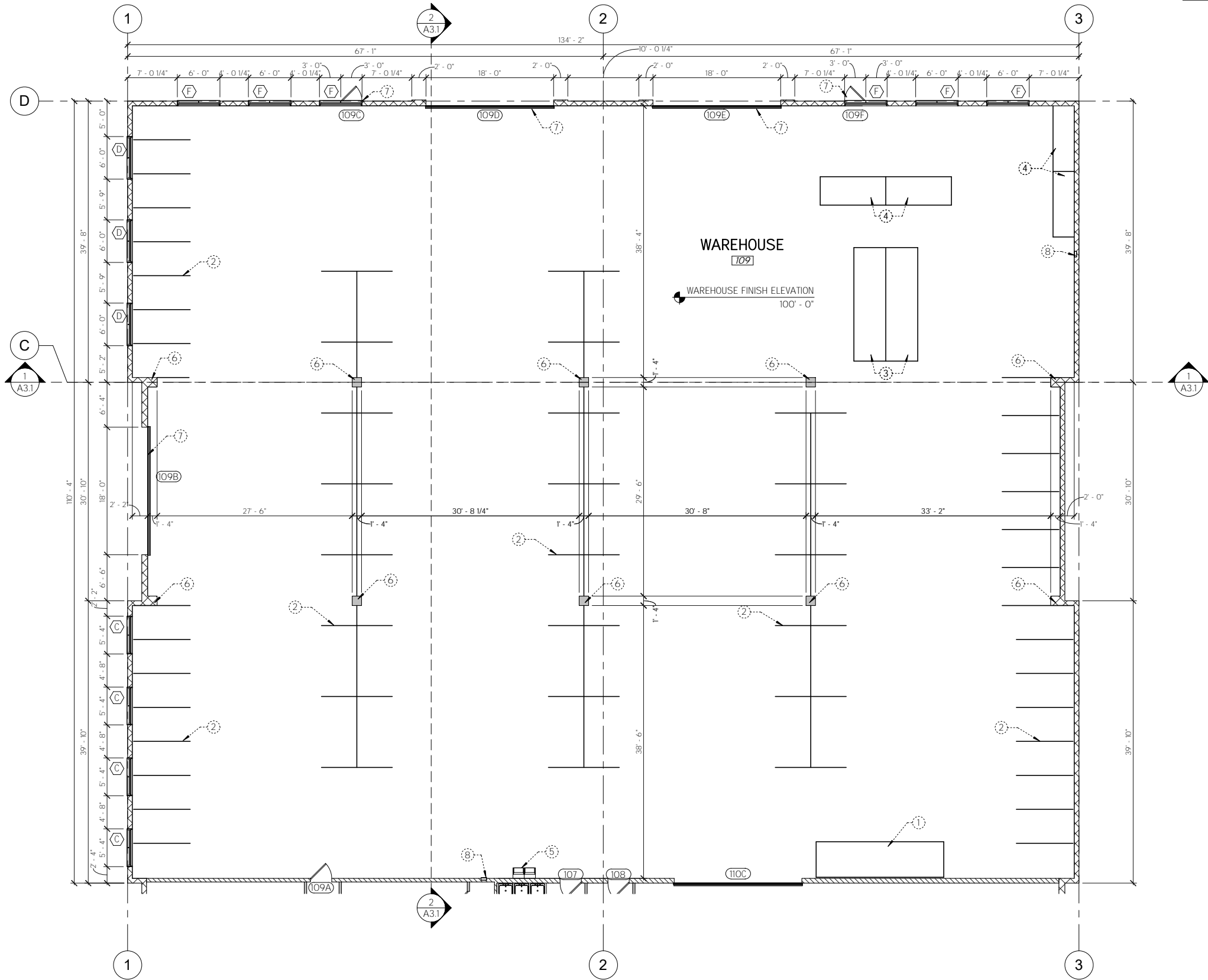
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- (B) DIMENSIONS TO DOORS AND WINDOWS ARE TO SIDES OF FRAMED OPENING UNLESS NOTED OTHERWISE.
- (C) SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
- (D) COORDINATE ALL WINDOW HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND WINDOW SCHEDULE.
- (E) FIRE SPRINKLING SYSTEM IS REQUIRED.

KEYED NOTES

- (1) CNC AND SPARE PARTS
- (2) STORAGE RACKS
- (3) DOOR MACHINE
- (4) EQUIPMENT TABLE
- (5) PROVIDE HIGH / LOW DRINKING FOUNTAIN AS REQUIRED.
- (6) COORDINATE ALL POSTS WITH STRUCTURAL COLUMNS TO BE PAINT OVER WOOD FRAME AND POST.
- (7) FULL WEATHERSTRIPED EXTERIOR DOOR UNIT, SEE DOOR SCHEDULE.
- (8) PROVIDE FIRE EXTINGUISHER AND CABINET AS PER I.F.C.

WALL TYPES

- 10X16 CMU WALL AS PER STRUCTURAL DRAWINGS
- 8X16 CMU WALL AS PER STRUCTURAL DRAWINGS
- 1 HOUR RATED 2X8 WALL AS PER DETAIL 1/A5.2
- 1 HOUR RATED 2X6 WALL AS PER DETAIL 6/A5.2
- 1 HOUR RATED 2X4 WALL AS PER DETAIL 5/A5.2
- 2X4 NON RATED WALL AS PER DETAIL 2/A5.2
- 2X6 NON RATED WALL AS PER DETAIL 4/A5.2



ENLARGED WAREHOUSE PLAN A
1/8" = 1'-0"

COLUMBIA SOUTH
WAREHOUSE
VINEYARD, UTAH

MEZZANINE PLAN

A1.4

GENERAL NOTES

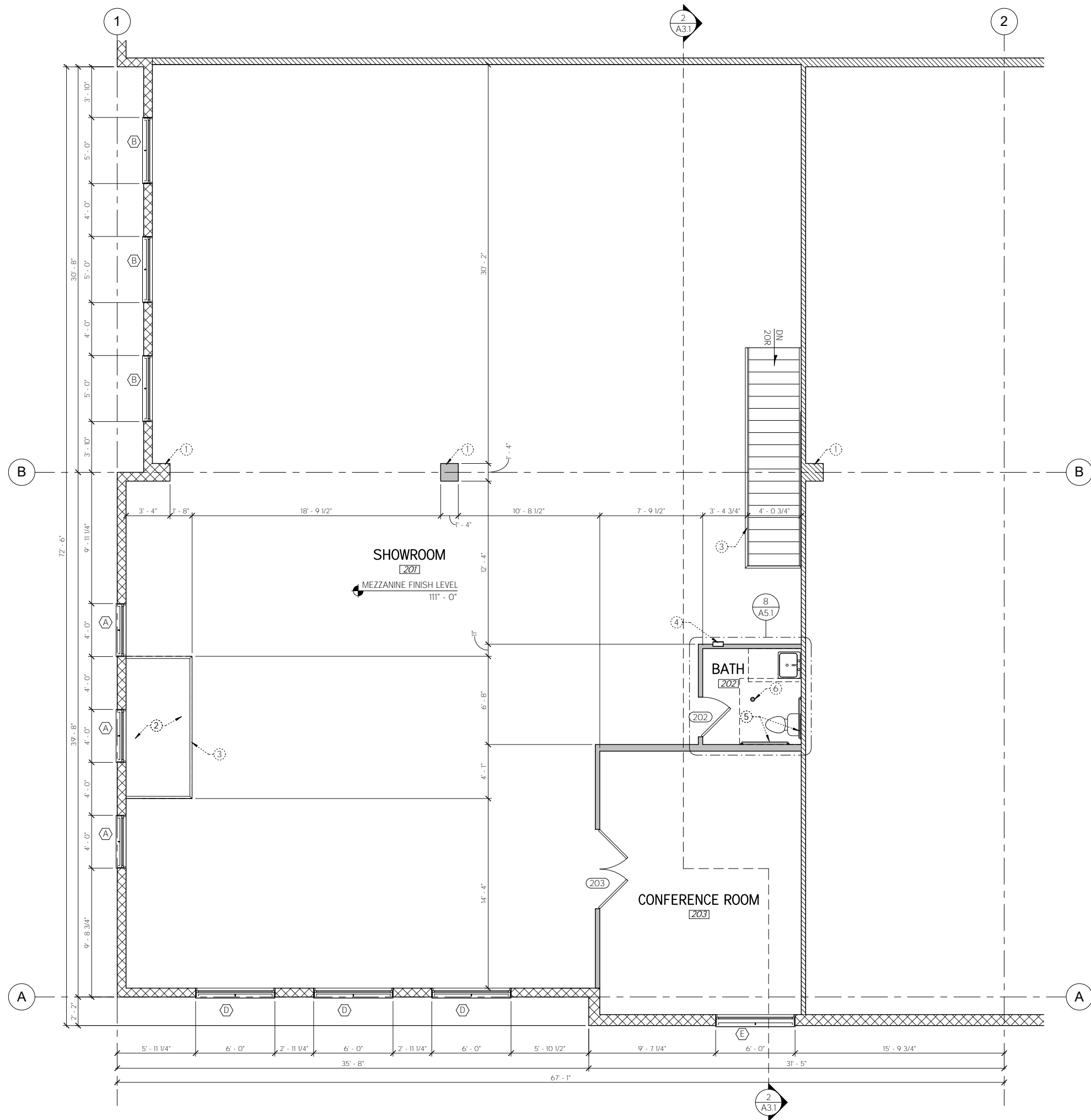
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- (B) DIMENSIONS TO DOORS AND WINDOWS ARE TO SIDES OF FRAMED OPENING UNLESS NOTED OTHERWISE.
- (C) SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
- (D) COORDINATE ALL WINDOW HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND WINDOW SCHEDULE.
- (E) FIRE SPRINKLING SYSTEM IS REQUIRED.

KEYED NOTES

- ① COORDINATE ALL POSTS WITH STRUCTURAL COLUMNS TO BE PAINT OVER WOOD FRAME AND POST.
- ② AREA IS OPEN TO BELOW
- ③ RAILING TO CONFORM TO CURRENT I.B.C. REQUIREMENTS. SEE GENERAL FINISH NOTES.
- ④ PROVIDE FIRE EXTINGUISHER AND CABINET AS PER I.F.C.
- ⑤ GRAB BARS AS INDICATED.
- ⑥ FLOOR DRAIN WITH TRAP AND PRIMER

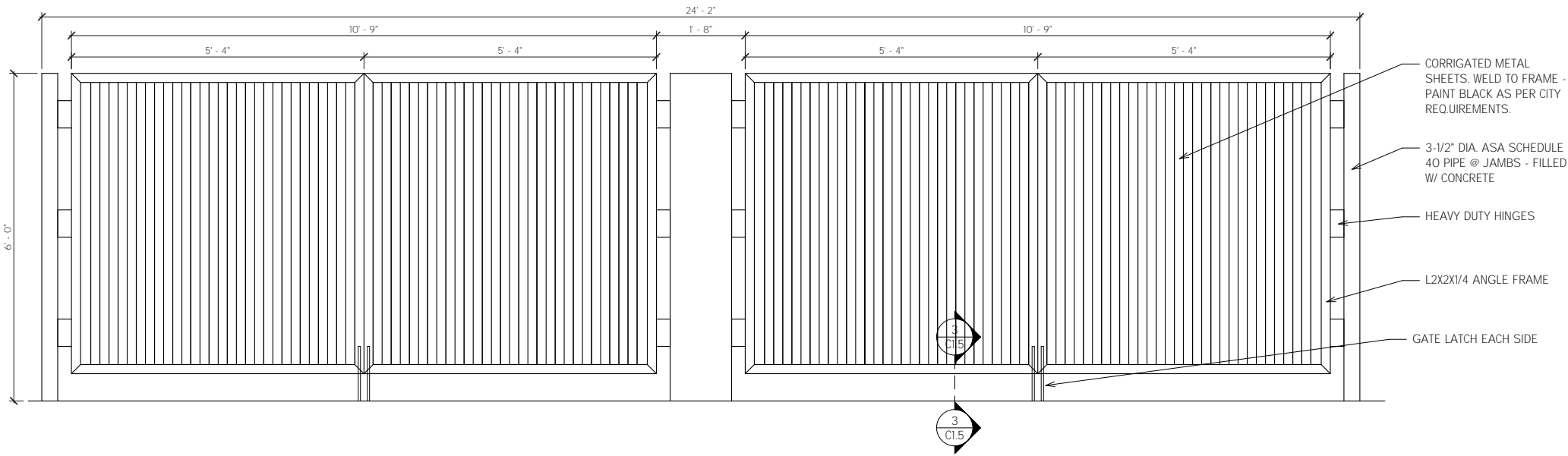
WALL TYPES

- 10X16 CMU WALL AS PER STRUCTURAL DRAWINGS
- 8X16 CMU WALL AS PER STRUCTURAL DRAWINGS
- 1 HOUR RATED 2X8 WALL AS PER DETAIL 1/A5.2
- 1 HOUR RATED 2X6 WALL AS PER DETAIL 6/A5.2
- 1 HOUR RATED 2X4 WALL AS PER DETAIL 5/A5.2
- 2X4 NON RATED WALL AS PER DETAIL 2/A5.2
- 2X6 NON RATED WALL AS PER DETAIL 4/A5.2



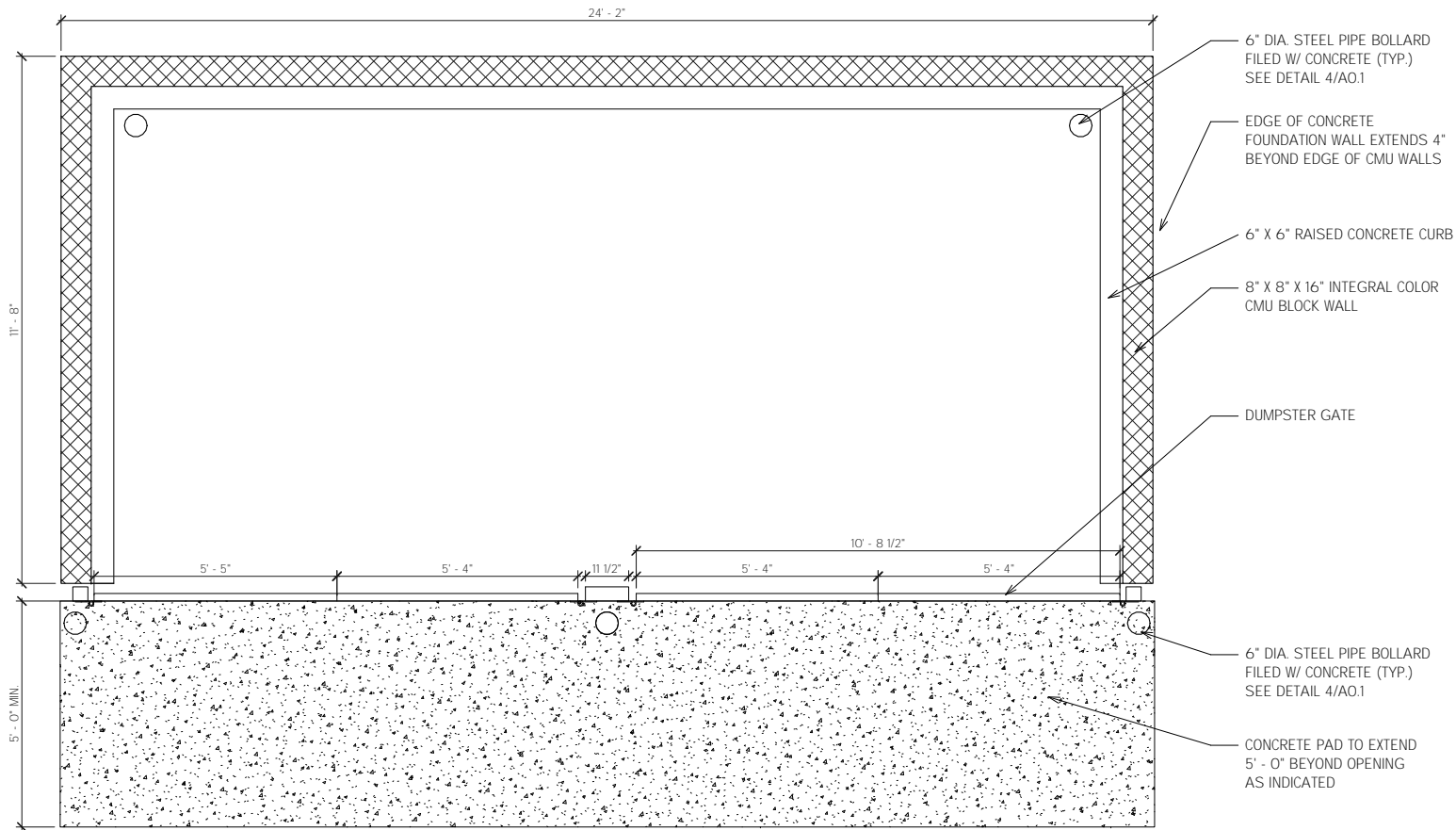
MEZZANINE PLAN A

1/4" = 1'-0"



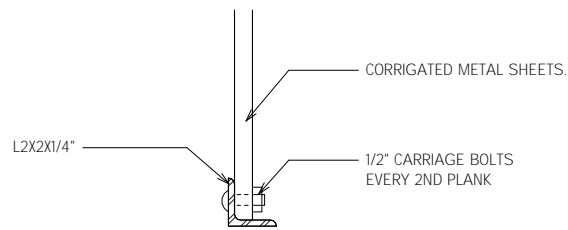
1
C1.5

DUMPSTER GATE
3/4" = 1'-0"



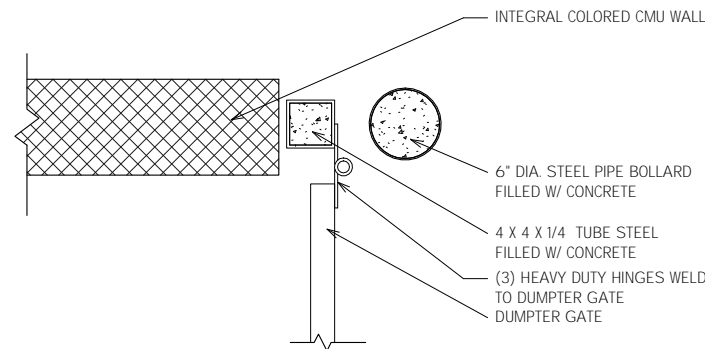
2
C1.5

DUMPSTER ENCLOSURE PLAN
1/2" = 1'-0"



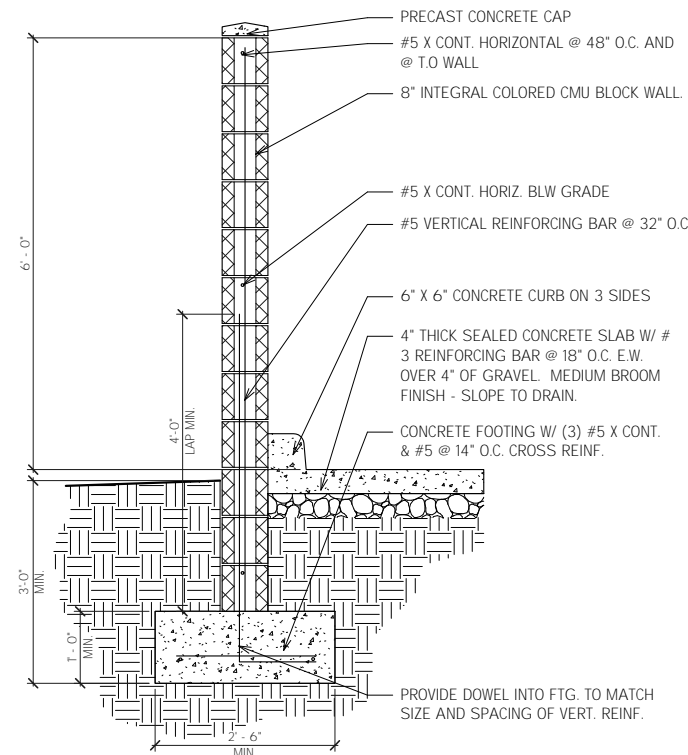
3
C1.5

GATE SECTION
3" = 1'-0"



4
C1.5

DUMPSTER ENCLOSURE DETAIL
1 1/2" = 1'-0"



*SOLID GROUTING IN ALL CELLS BELOW GRADE AND IN CELLS CONTAINING REINFORCEMENT.

5
C1.5

DUMPSTER ENCLOSURE WALL SECTION
3/4" = 1'-0"

PROJECT NUMBER

17100

ISSUE DATE:

FEBRUARY 2, 2018

REVISIONS:

No. Date

COLUMBIA SOUTH
WAREHOUSE
VINEYARD, UTAH

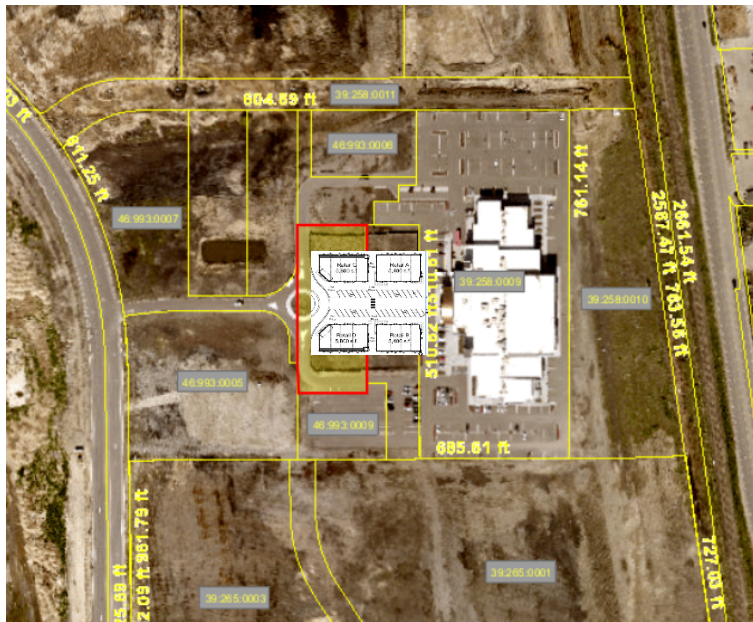
SITE DETAILS

C1.5



Community Development

Date: March 7, 2018
From: Morgan Brim, Community Development Director
To: Planning Commission
Item: Milltown Commercial Phase I, Buildings C and D
Address: 576 North Mill Road, Vineyard Utah 84058
Applicant: Brant Tuttle, Northern Engineering, Inc.
Owner: 600 Mill LLC (Steve Hutchings and Eric Towner)



INTRODUCTION:

The Milltown Commercial Project comprises 11.86 acres west of the Megaplex Theater, south of the Forge Mixed-Use Development (650 North), north of the 20-acre parcel owned by Anderson Geneva, and is bordered by Mill Road to the west. The UVU Vineyard South Campus is located across Mill Road to the west. This proposal is a request for site plan and building design approval of buildings C and D on the parcel east of the roundabout. Buildings A and B are currently under construction and are located on the adjoining east parcel directly across from the Megaplex Theater main entrance. Buildings A and B are vested under the Megaplex Site Plan approved several years ago, and are not under consideration in this application. Buildings A-D are the first four of a total build-out of 15 buildings planned for the Milltown Project. At full build-out, the applicant is proposing approximately 97,000 square feet of retail, office and restaurant uses.

ANALYSIS:

Plans indicate buildings C and D are single-story containing 5,800 square feet each, which is slightly larger than the 5,400 square feet provided in buildings A and B. Similar to A and B, buildings C and D will each have four retail tenant spaces. The owners are working with several restaurants and retailers to operate within these spaces. A shared cross access and parking agreement has been recorded with the Utah County Records Office, allowing the Milltown Development and Megaplex to function as one planned project.

VZC 15.14.2 Regional Mixed-Use District (RMU)			
Compliance	CATEG	Standard	Comments
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 06 Use Regulations	Uses are identified in the District Use Table	Retail Sales is a permitted use in the RMU District.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 08.4 Non- Residential Density	There is no limit on the intensity of non-residential units as long as each development complies with the development standards of the approved development plan and requirements herein.	The Milltown development is projected to serve a regional and local customer base in a moderate-scale of intensity.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 08.5.a Building Height	The maximum allowable building height shall be fifty-two (52) feet. The maximum number of stories shall be four (4) for non-residential or vertical mixed-use buildings.	Buildings will contain a height of one story, and 24'-4".
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 08.6.a Setbacks	Arterial – 25 feet Collector – 20 feet Local – 15 Feet	The proposed project is situated on an internal site development parcel and located approximately 380 feet east of Mill Road.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 08.7.a Compatibility Requirements	Development shall be compatible with, and preserve the character and integrity of adjacent land uses, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent land uses. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, buffer yards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts.	The development is found to be compatible with the existing Megaplex building and buildings A and B under construction.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 08.10.a Open Space	At least one major private or public space, such as a plaza, park, town square, or other gathering space. These spaces should be designed and located for substantial use. The gathering space should include a significant public amenity, such as water features and/or public art.	This first phase of the Milltown project is designed to integrate with the Megaplex development and provides large sidewalks and outdoor patio areas for future restaurants to utilize. A water feature is being incorporated into the roundabout on the west side of the proposed buildings.

<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	Part 08.10.d	A minimum of ten (10) percent of the site area of the non-residential development shall be set aside for open space. Such areas shall be used for plaza areas, outdoor seating areas. The minimum size of an open space areas shall be 2,000 sq. ft.	This first phase of development provides approximately 3,959 square feet, or 5.9%, open space which is incorporated in the street planters, landscape islands and within the roundabout design. A total of 10% of the site will need to be dedicated towards landscaping or open space at full build-out.
VZC 15.36 Site Planning and Building Design Requirements			
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 03.1 Subdivision and Project Features	All projects shall include project features that add visual interest and attractiveness to the project area and the City. Such features may include project entry features, public art pieces, streetscape designs, pedestrian and biking facilities and trails, consistency in design features, and useable parks and open spaces.	The applicant is proposing a water feature in the roundabout, landscaping planters, large sidewalks, and patio areas.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 03.5 Building Location	All buildings shall have an orientation to the street to encourage a pedestrian relationship. Building placement shall allow interconnected walkways and shared site accesses, as applicable, for increased convenience, accessibility, and enhanced safety for pedestrians.	Internal sidewalks around the buildings will be provided for pedestrian connectivity to the parking areas and streets. Buildings are oriented towards the project road with entrances accessible from the sidewalk.
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	Part 03.8.b Building Finishes	High gloss paints, factory finished metals or other materials which increase visual impacts, and aluminum, white or reflective roofs are prohibited. Matte finishes are recommended. Bright, glossy, fluorescent color schemes and mirrored or other highly reflective glass is strongly discouraged.	The applicant will provide a material detail for the planning commission to review at the meeting. The elevations do not call out exterior materials.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 03.10 Site Access	The location and number of access points to the site, the interior circulation pattern and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience, and should be harmonious with proposed and neighboring buildings.	The project proposes a connection to the north through a project road intersecting with 650 North. The west entrance is existing and will remain in place. A south roundabout entrance has a planned connection to 400 North to the south.
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 03.17.c Parking Lot Lighting	Minimum adequate lighting should be provided in all parking areas, with emphasis placed on appropriate lighting at entrances and exists. All parking area lighting shall be integrated with a landscape features. The height of pole-mounted fixtures shall be held to a minimum practical height, but not exceeding twenty (20) feet.	A parking lot lighting plan has been requested by staff. Existing lighting meets required standards.
<input checked="" type="checkbox"/> Yes	Part 18.a Sign Standards	Signs shall be provided as an integral site and building design element and shall be compatible	Elevations indicate that signage will be incorporated into each building façade. A sign plan will

<input type="checkbox"/> No <input type="checkbox"/> N/A		with the style of the building in terms of location, scale, color, and lettering style.	be required prior to sign installation.									
VZC 15.38 Parking and Loading Requirements												
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 03.1.d Accessible Parking	Accessible parking for non-residential developments shall be provided in conformance with the Americans with Disabilities Act (ADA), Utah Americans with Disabilities Act (Utah ADA) and International Building Code (IBC).	Four ADA parking stall are proposed along the access route adjacent to the building frontages. The building department will review all ADA standards in the building permit process.									
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 03.1.e Parking Stall Dimensions	<table border="1"> <tr> <th colspan="3">Minimum parking stall size:</th> </tr> <tr> <th>Type</th> <th>Width</th> <th>Length*</th> </tr> <tr> <td>Standard</td> <td>9 feet</td> <td>20 feet</td> </tr> </table> <p>* The front of the parking space may overhang two (2) feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a four (4) foot wide clearance for pedestrian access (a total of six (6) feet from the curb face to the opposite edge of the walkway).</p>	Minimum parking stall size:			Type	Width	Length*	Standard	9 feet	20 feet	Proposed parking meets the 20-foot length requirement with a two-foot overhang. Parking spaces contain a width of 10 feet.
Minimum parking stall size:												
Type	Width	Length*										
Standard	9 feet	20 feet										
<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	Part 03.1.n Screening	All off-street parking lots of four (4) or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall, vertical landscaping, or combination thereof at least three (3) feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of two and one-half (2.5) feet back from the edge of the parking stall.	This phase of Milltown is located centrally within the development. All perimeter parking in the future will require landscaping and berming.									
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Part 03.1.o.iv	In projects greater than 1 acre, every parking space should be no greater than one hundred fifty (150) feet from a walkway leading to a building entrance.	All parking spaces are within 150 feet from a building entrance.									
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Parking Table	Establishments providing general retail sales and services in a shopping centers (a commercial establishment planned, developed, owned or managed as a unit) shall provide one (1) space per 250 square feet of floor area.	Buildings A-D contain 22,400 square feet of general retail sales. A minimum of 90 parking spaces is required. The plan exceeds this requirement with 106 parking spaces.									

FINDINGS:

With the proposed conditions, the proposed site plan meets the following findings:

- It meets the goals and objectives of the General Plan
- It is in conformance with the Zoning Ordinance.

RECOMMENDATION:

Staff recommends the Planning Commission approve the Milltown Commercial Phase I for Buildings C and D with the following conditions:

1. That the following items be submitted prior to submitting a building permit:
 - a. Exterior materials board;
 - b. Site lighting details, and
 - c. Roundabout design detail.
2. The applicant pays any outstanding fees and makes any redline corrections.
3. Maintain compliance with all local, state and federal requirements and laws.

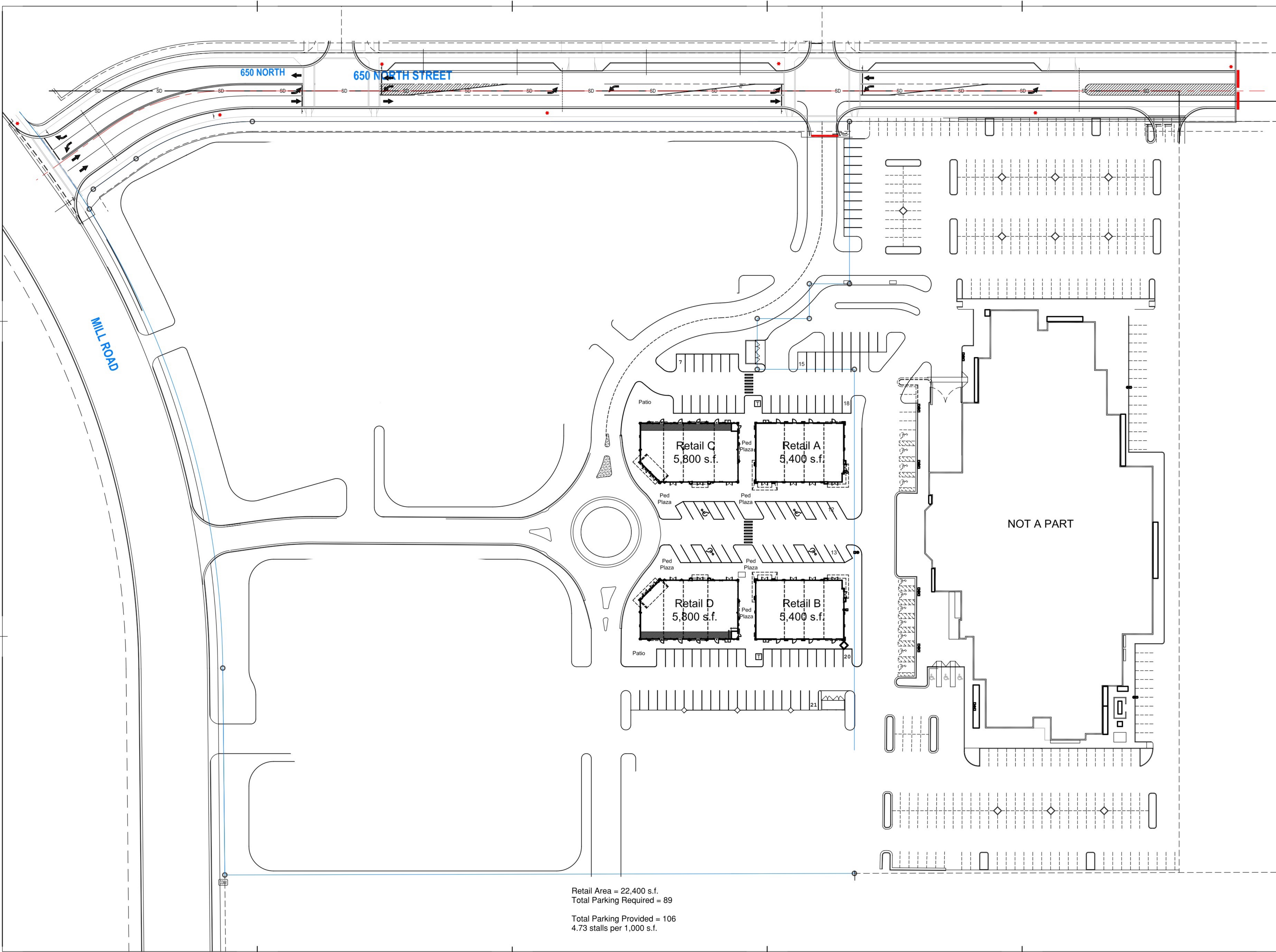
PROPOSED MOTION:

"I move to approve the proposed site plan for the Milltown Commercial Phase I with the proposed conditions.

Attachments:

Application

Proposed Site Plan Set



dixon + associates
architecture, planning, interiors

833 south 200 east
salt lake city, ut 84111
t. 801.595.6400
f. 801.595.8900



PROJECT NUMBER: #15169.00

**VINEYARD RETAIL
SITE SCHEMATICS**

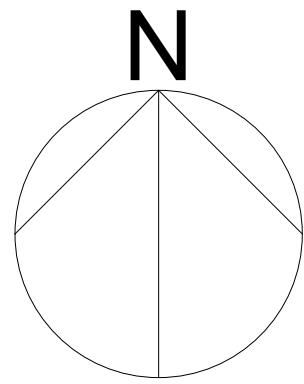
**600 MILL ROAD
VINEYARD, UTAH**

**SCHEMATIC
DOCUMENTS**

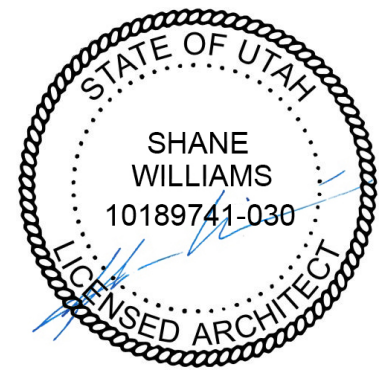
#	DATE	DESC.

ISSUE: 4 DECEMBER 2017
PROJECT NO: -
DRAWN BY: -
CHECKED BY: -

SHEET TITLE



THIS PLAN HAS BEEN
REVIEWED FOR GENERAL
CONFORMANCE WITH DESIGN
CONCEPT ONLY AND DOES NOT
RELIEVE THE CONTRACTOR OF
RESPONSIBILITY FOR
CONFORMANCE WITH DESIGN
DRAWINGS, SPECIFICATIONS,
AND APPLICABLE CODES, ALL
OF WHICH HAVE PRIORITY.



PLANTING PLAN

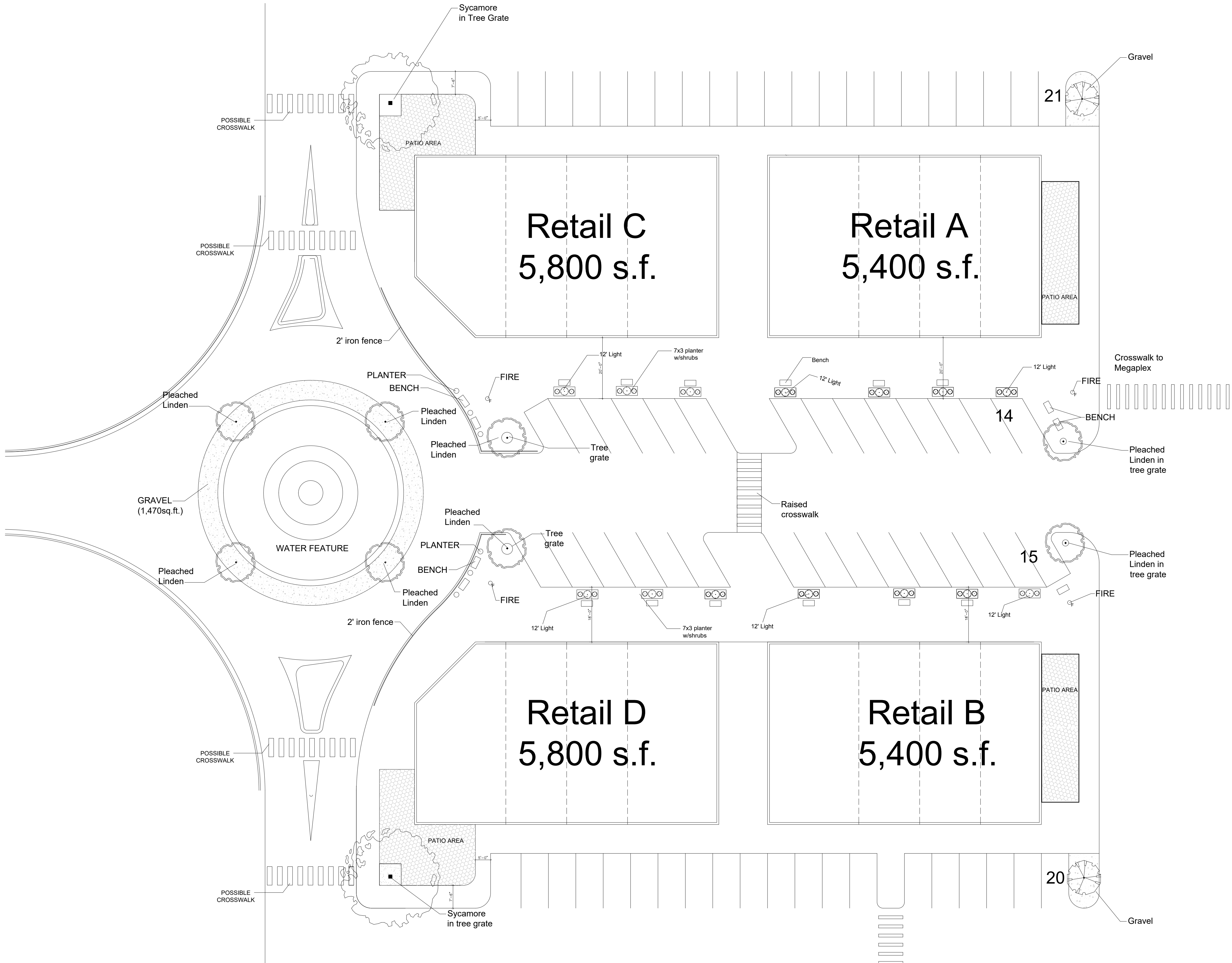


Project:
VINEYARD RETAIL
600 Mill Road,
Vineyard, UT

L2

Scale: 1/16"=1'-0"
Date: 04/19/17

REV: 07/14/17



A

B

C

D

C101
1,237 s.f.

C102
1,202 s.f.

C103
1,900 s.f.

C104
1,400 s.f.

64 s.f.

23'-9 1/2"

20'-0"

31'-4"

24'-3 1/2"

59'-10"

FLOOR PLAN - C

SCALE: 1/8" = 1'-0"



A

B

C

D

T.O. ROOF
ELEV. 123'-4"

T.O. WALL
ELEV. 124'-4"

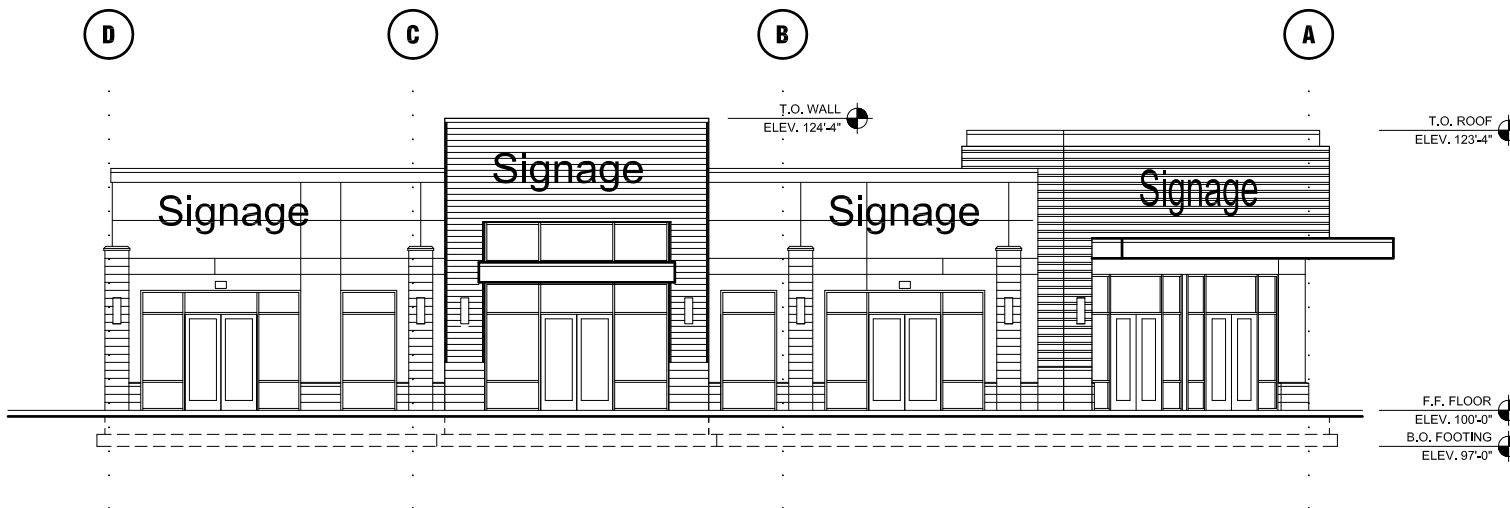
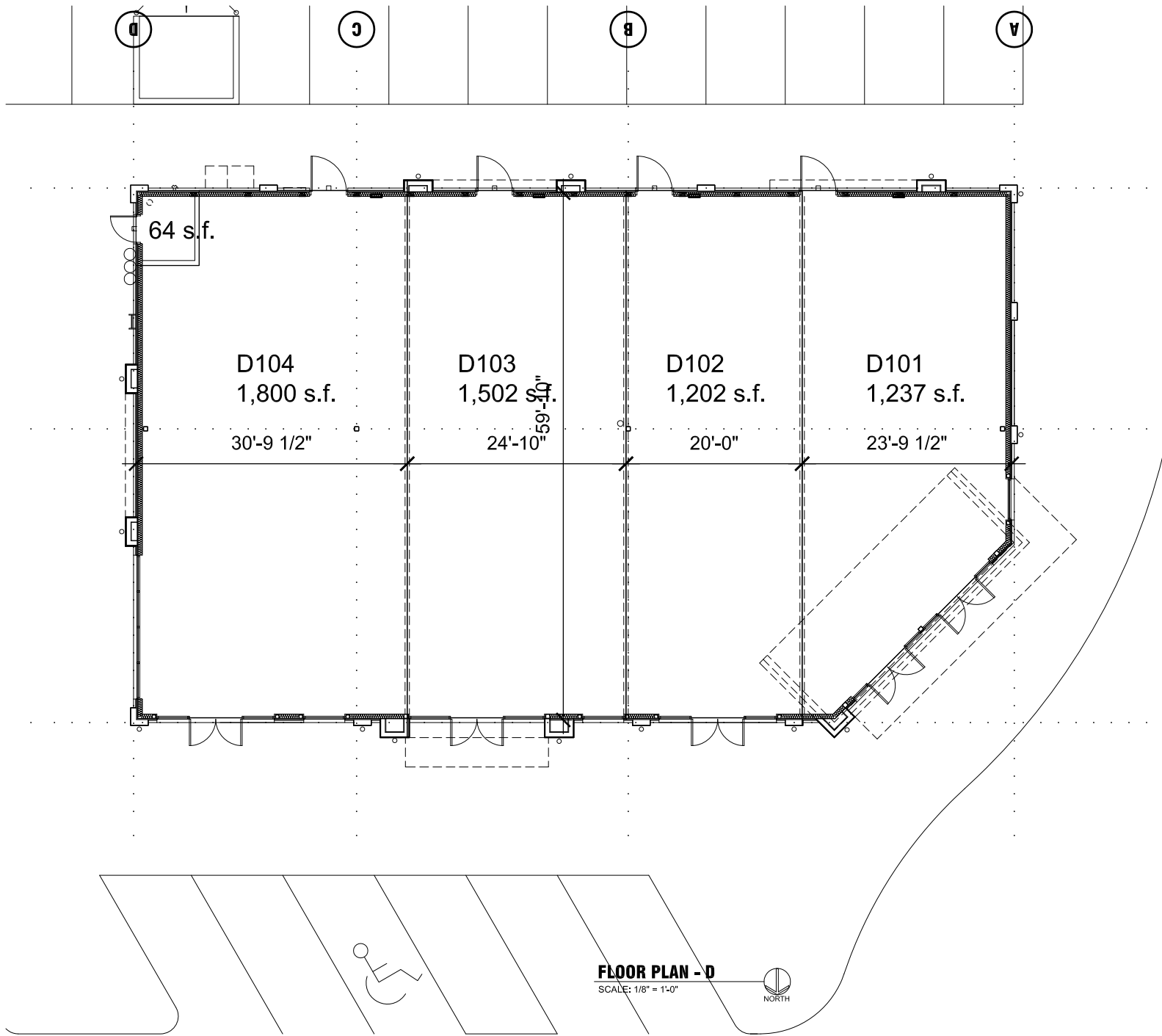
F.F. FLOOR
ELEV. 100'-0"
B.O. FOOTING
ELEV. 97'-0"

Signage

Signage

Signage

Signage



CENTRAL SECTOR



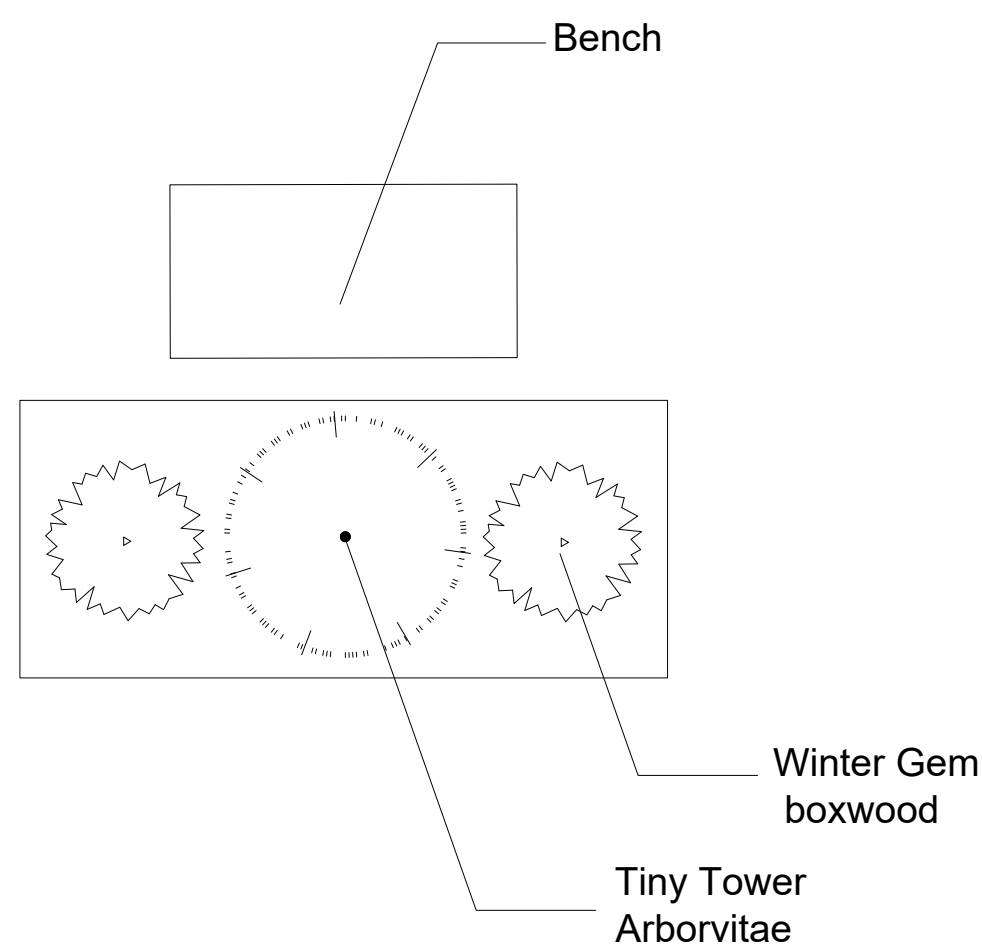
Project: **VINEYARD RETAIL**
600 Mill Road,
Vineyard, UT

Project:

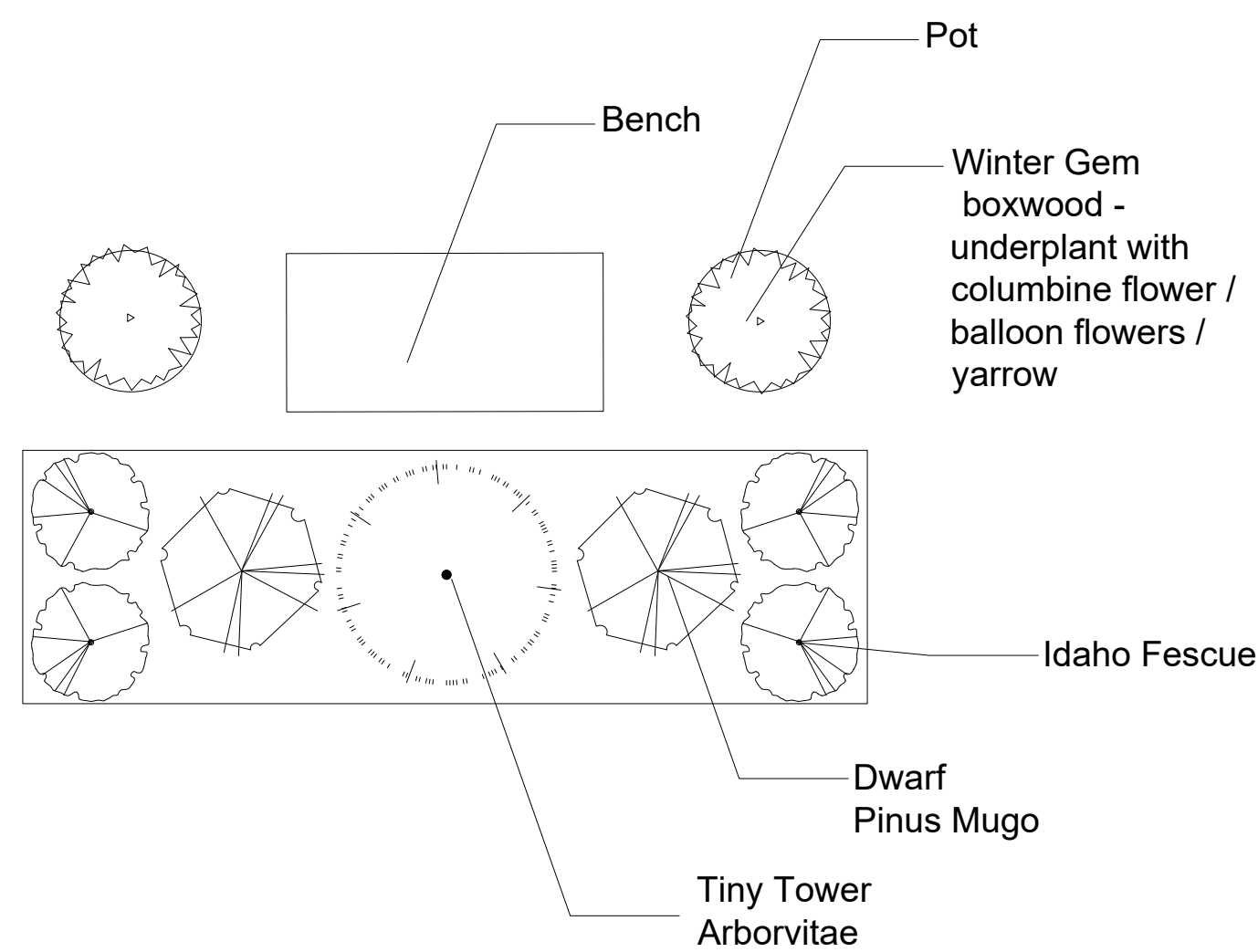
L3

Scale: 1/18"=1'-0"
Date: 04/19/17

REV: 07/19/17



7'x3' PLANTER



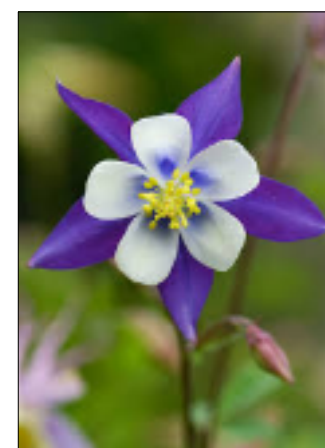
10'x3' PLANTER



WINTER GEM BOXWOOD



YARROW



COLUMBINE
FLOWER



BALLOON FLOWER



IDAHO FESCUE



DWARF PINUS MUGO



TINY TOWER
ARBORVITAE

PLANTERS DETAIL

ORDINANCE NO. 2018-XX

AN ORDINANCE OF THE CITY OF VINEYARD, UTAH, AMENDING THE VINEYARD ZONING ORDINANCE CHAPTER 15.34: SUPPLEMENTARY DEVELOPMENT STANDARDS, SECTION 15.34.190 DRIVE-THRU FACILITIES, PROVIDING REFERENCE TO FOUR NEW ZONING FIGURES, PROVIDING BUILDING DESIGN STANDARDS FOR MATERIALS, FENESTRATION AND BUILDINGS LOCATED ON A STREET CORNER, AMENDING RESIDENTIAL DISTANCE REQUIREMENTS SEPARATING DRIVE-THRU FACILITIES FROM RESIDENTIAL USES TO INCLUDE A MEASUREMENT FROM THE RESIDENTIAL BUILDING AS OPPOSED TO PROPERTY LINES, PROVIDING AN EXCEPTION FOR DRIVE AISLES TO BE LOCATED BETWEEN THE FRONT FAÇADE AND FRONT PROEPRTY LINE, LIMITING DRIVE AISLES TO A WIDTH OF 14 FEET, PROVIDING REQUIREMENTS FOR SCREENING AND LANDSCAPING, RESTRICTING PLACEMENT OF MENU BOARDS AND INFRASTRUCTURE, ADDING REQUIREMENTS FOR WALKWAY MATERIAL, ADDING A DRIVE-THRU FACILITY FIGURE, DRIVE-THRU FACILITY WITH FRONT DRIVE AISLE FIGURE, SCREEN WALL SECTION DETAIL AND LANDSCAPED BERM SECTION; AMENDING CHAPTER 15.12 ESTABLISHMENT OF DISTRICTS AND ZONING TABLES, SECTION 15.12.050 DISTRICT USE TABLE, ADDING DRIVE-THRU FACILITIES AS A PERMITTED USE IN THE RMU, FMU, RC AND M DISTRICTS WITH REFERENCE TO TABLE NOTE SEVEN WHICH REFERENCE SECTION 15.34.190 DRIVE-THRU FACILITIES AND INCLUDING REQUIREMENTS TO OBTAIN A CONDITIONAL USE PERMIT FOR DRIVE-THRU FACILITIES LOCATED BETWEEN THE FRONT FAÇADE AND FRONT PROPERTY LINE. PROVIDING A REPEALER CLAUSE; PROVIDING A SAVINGS AND SEVERABILITY CLAUSE, PROVIDING FOR PUBLICATION AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Title 10, Chapter 9a Municipal Land Use, Development, and Management Act of the Utah Municipal Code, permits Vineyard to ensure the health, safety and welfare of the community through local land use planning and the adoption of land use ordinances; and

WHEREAS, Vineyard is authorized to amend the City's Zoning Ordinance pursuant to Utah Municipal Code § 10-9a-102(2); and

WHEREAS, the Planning Commission held a public hearing on March 7, 2018 and after fully considering public comment and staff recommendations, recommended approval to the Vineyard City Council; and

WHEREAS, the Vineyard City Council, having reviewed the proposed text amendments, held a public hearing on March 14, 2018; and

WHEREAS, the Vineyard City Council having considered the recommendation of the Planning Commission and submitted comments and testimony from the public, having determined that it is in the best interest of the public and adopt the proposed text amendments to the Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF VINEYARD:

SECTION 1: AMENDMENTS TO ZONING ORDINANCE SECTION 15.34.190 are hereby adopted as follows:

See attached Exhibit A: Section 15.34.190 Drive-Thru Facilities.

SECTION 2: AMENDMENTS TO ZONING ORDINANCE SECTION 606 are hereby adopted as follows:

See attached Exhibit B: Section 15.12.050 District Use Table

SECTION 3: That the Mayor, the City Manager, the City Clerk and the City Attorney are hereby authorized and directed to execute all documents and take all steps necessary to carry out the purpose of this Ordinance.

SECTION 4: REPEALER CLAUSE. All Vineyard Ordinances, or parts thereof, which are in conflict herewith are hereby repealed.

SECTION 5: SAVINGS AND SEVERABILITY CLAUSE. If any provision of this Ordinance is for any reason held by any court of competent jurisdiction to be unenforceable, such provision or portion hereof shall be deemed separate,

distinct, and independent of all other provision and such holding shall not affect the validity of the remaining portions of this Ordinance.

SECTION 6: PUBLICATION. This Ordinance, or summary thereof, shall be published in the official newspaper of the City, and shall take effect immediately upon its passage, approval, and publication.

SECTION 7: EFFECTIVE DATE. This Ordinance shall be in full force and effect after its passage, approval and publication according to law.

PASSED AND ADOPTED by the Vineyard City Council, ----- 2018.

ATTEST:

Pam Spencer, City Clerk

Julie Fullmer, Mayor

Exhibit A: Section 15.34.190 Drive-Thru Facilities

15.34.190 Drive-Thru Facilities

1. **Purpose.** The purpose of this section is to regulate drive-thru facilities with development standards to ensure that the design and operation of such uses effectively mitigate associated problems with traffic, pedestrian safety, congestion, excessive pavement, litter, and noise.
2. **Permit requirements.** Drive-thru facilities are allowed in districts as listed in VZC 15.12.050 District Use Table of this ordinance.
3. **Development Standards.** The development standards in this section are intended to supplement the standards in the underlying zoning district for drive-thru facilities. In the event of conflict between these standards and the underlying zoning district standards, the provisions of this section shall apply. [\(See Figures 15.34.190\(1-4\)\)](#)
4. **Drive-thru Aisles.** The minimum standards for drive-thru aisles are as follows:
 - a. Drive-thru aisles shall have a minimum twelve-foot (12') width.
 - b. Drive-up windows and remote tellers shall provide at least one hundred eighty (180') feet of stacking space for each facility, as measured from the service window or unit to the entry point into the drive-up lane. Nonfood and/or non-beverage businesses may reduce the stacking space to a minimum of sixty feet (60').
 - c. Each drive-thru entrance shall be at least fifty feet (50') from any street access point.
 - d. Each drive-thru exit shall be at least twenty-five feet (25') from any street access point.
 - e. Each entrance to an aisle and the direction of traffic flow shall be clearly designated by signs and pavement markings.
 - f. Each drive-thru aisle shall be separated from the circulation routes necessary for ingress or egress from the property, or access to a parking space.
 - g. Drive-thru aisles and exit lanes are only permitted on the side and rear of buildings, [except as provided for in Part 11 of this section.](#)
 - h. Buildings with a drive-thru facility shall not contain parking ~~or drive aisle~~ between the front building ~~façade~~[façade](#) and street right-of-way.
 - i. Buildings with a drive-thru shall contain a building entrance on the building side facing the front yard.
 - j. Buildings may contain exterior dining areas, gathering spaces and landscaping between the building's street facing ~~façade~~[façade](#) and the sidewalk.
 - [k.](#) Drive-thru facilities, including signage support pedestals, screening walls, canopies and other architectural features, shall be designed with similar and compatible materials used throughout the exterior of the building.

5. Building Design.

- a. Buildings shall be placed at or near the street frontage of the site.
- b. Corner buildings shall be designed to address both streets directly.
- c. Equivalent fenestration shall be utilized for all street facing sides.
- ~~k-d.~~ A variety of appropriate building materials shall be utilized within an overall design concept for all building sides and components.

5.6.Landscaping of the Drive-Thru Aisle. Landscaping shall be provided as described below:

- a. A five foot (5') wide planter between the drive-thru aisle and the parking area that includes shade trees consistent with those used in the parking area are required.
- b. A planter with a minimum height of three feet (3'), not exceeding a height of four feet (4'), with low shrubs that screens the drive-thru aisles from the abutting street right-of-way shall be used to minimize the visual impact of menu board signs and directional signs.
- c. Drive-thru facilities shall provide sufficient landscape screen to ensure vehicle headlights are not visible from the abutting street rights-of-way and surrounding residential properties.

6.7.Pedestrian Access and Crossings. Pedestrian access shall be provided from each abutting street to the primary entrance with a continuous four (4' 0") foot-wide sidewalk or delineated walkway. At least one pedestrian walkway shall be provided to the main entrance of the building which does not intersect drive-thru aisles.

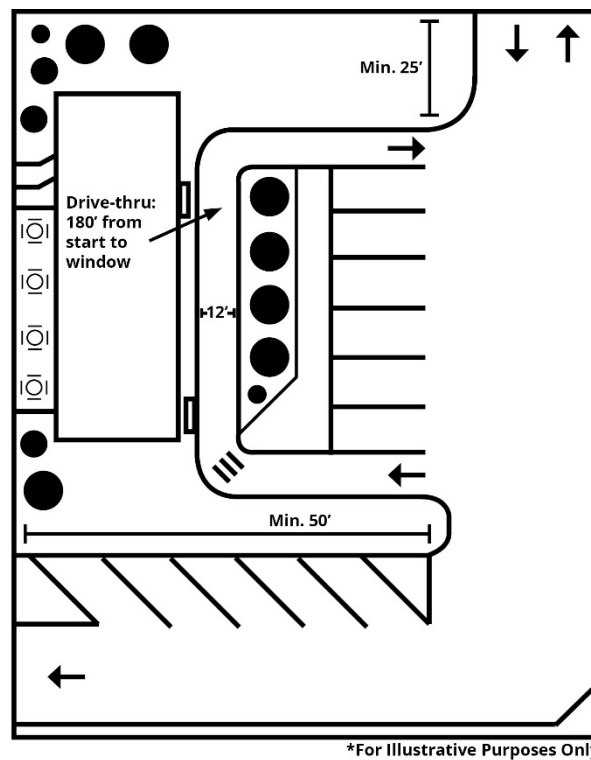
7.8.Hours of Operation. When located on a site within one hundred (100') feet of any residential ~~property building~~, measured from the proposed drive-thru facility to the nearest portion of a residential building ~~property lines of the residential property~~, hours of operation for the drive-thru service shall be limited from 7:00 a.m. to 10:00 p.m. daily. This regulation does not apply to mixed-use buildings containing both residential and non-residential uses.

8.9.Signage. Menu boards and other signage shall be permitted in accordance with the provisions of VZC 15.48.

9.10. Parking and Loading. All parking areas shall comply with the standards of the parking and loading requirements of this ordinance.

11. Noise. Any drive-thru speaker system shall emit no more than fifty (50) decibels and at no time shall any speaker system be audible above daytime ambient noise levels beyond the property lines of the site. The system shall be designed to compensate for ambient noise levels in the immediate area.

Figure 15.34.190(1) Drive-thru Facility



12. Drive Aisles in Front of Buildings. Through the provision of a conditional use permit, a drive aisle may be located between the building's front façade and front property line in compliance with the following standards:

- The drive aisle shall not contain parking.
 - The drive aisle shall not exceed a width of more than fourteen feet (14').
 - The drive aisle shall be screened from view of the street by a landscaped berm, decorative wall, vertical landscaping, or combination thereof at least three (3') feet high, as measured the top of back of curb adjacent to the drive aisle to be screened. All walls or berms shall be installed a minimum of two feet and six inches (2'-6") back from the edge of the drive aisle.
 - No menu boards or related drive-thru infrastructure, except the drive aisle, are permitted within the area located between the front façade of the building and front property line. This area is defined by connecting a line from the building corners at the intersection of the front and side building lines, extended to meet the front property line perpendicularly. (See Figure 15.34.190(2))
- a-c. Any walkways crossing the drive aisle shall be clearly marked and constructed with brick, stamped concrete or other appropriate decorative material.

Figure 15.34.190(2) Drive-thru Facility with Front Drive Aisle

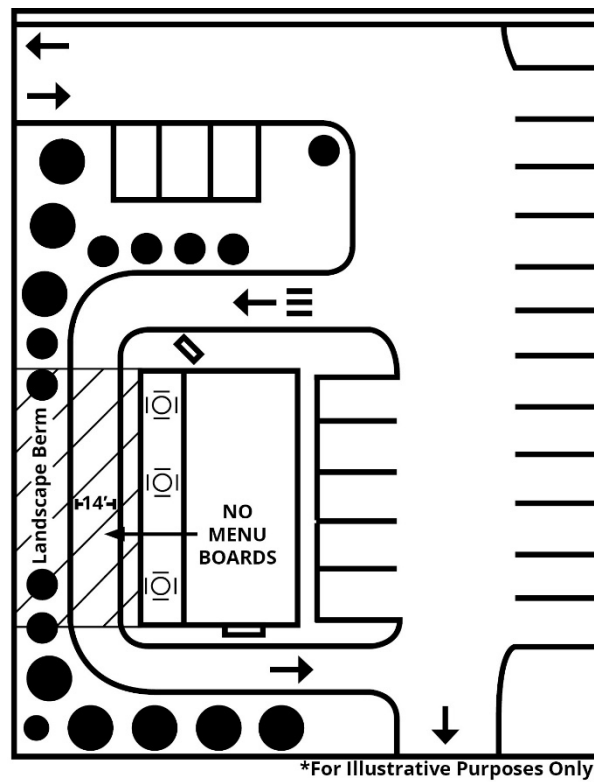


Figure 15.34.190(3) Section At Typical Screen Wall

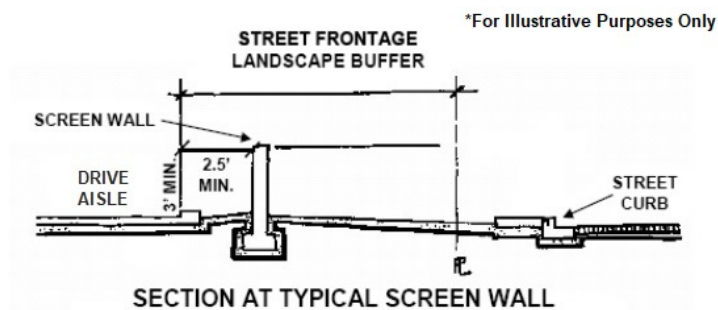


Figure 15.34.190(4) Section At Typical Landscaped Berm

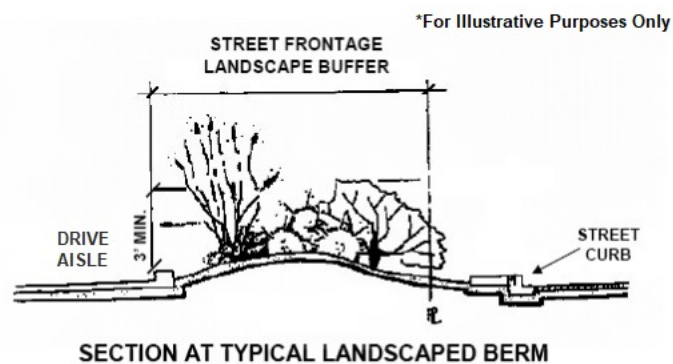


Exhibit B: Section 15.12.050 District Use Table

P = Permitted Use; C = Conditional Use; T = Temporary Use; N = Non-Permitted Use; X^x = Indicates Additional Standards Below

[illegible]

P = Permitted Use; C = Conditional Use; T = Temporary Use; N = Non-Permitted Use; X^X = Indicates Additional Standards Below

ZONING DISTRICT USES		OS	A-1	R&A-5	RE-20	R-1-15	R-1-10	R-1-8	R-2-15	HDR-1	HDR-2	RMU	FMU	BP	RC	FOI	M	PF
COMMERCIAL	Manufacturing, Light	N	N	N	N	N	N	N	N	N	N	N	N	P	N	P	N	N
	Medical and Dental Clinic	N	N	N	N	N	N	N	N	N	N	P	P	P	N	N	N	N
	Medical or Dental Laboratory	N	N	N	N	N	N	N	N	N	N	P	P	P	N	P	P	N
	Motel	N	N	N	N	N	N	N	N	N	N	C	C	C	C	N	N	N
	Motor Vehicle Fueling Station	N	N	N	N	N	N	N	N	N	N	C	N	N	C	C	N	N
	Nightclub	N	N	N	N	N	N	N	N	N	N	C	C	N	C	N	N	N
	Nursing Care Facility	N	N	N	N	N	N	N	N	N	N	C	C	C	N	N	N	N
	Nursing Home, Convalescent Care	N	C	C	C	C	C	C	C	C	C	N	N	N	N	N	N	N
	Office	N	N	N	N	N	N	N	N	N	N	P	P	P	P ⁴	P ⁴	N	N
	Pawnshop	N	N	N	N	N	N	N	N	N	N	C	N	N	N	N	N	N
	Personal Care Services	N	N	N	N	N	N	N	N	N	N	P	P	N	P	N	N	N
	Personal Instruction Service	N	N	N	N	N	N	N	N	N	N	P	P	C	P	C	N	N
	Private Club	N	N	N	N	N	N	N	N	N	N	C	C	C	C	N	N	N
	Restaurant	N	N	N	N	N	N	N	N	N	N	P	P	P	P	N	N	N
	Retail Sales and Services	N	N	N	N	N	N	N	N	N	N	P	P	P ³	P	P ³	N	N
	Retail Sales and Services (Community Commercial)	N	N	N	N	N	N	N	N	N	N	P	P	N	N	N	N	N
	Retail Sales and Services (Regional)	N	N	N	N	N	N	N	N	N	N	P	P	N	P	N	N	N
	Salvage Yard	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	N
	Sexually Oriented Business	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	N
	Storage - Self Service Mixed-Use Facility	N	N	N	N	N	N	N	N	N	N	C ²	N	C ²	C ²	C ²	N	N
	Storage - Self Service	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	N
	Storage of Recreational Vehicles	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	N
	Trailer/RV Camping Facilities	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
	Vehicle and Equipment Rental	N	N	N	N	N	N	N	N	N	N	N	N	N	C	C	N	N
	Vehicle and Equipment Repair (Major)	N	N	N	N	N	N	N	N	N	N	N	N	N	C	C	P	N
	Vehicle and Equipment Repair (Minor)	N	N	N	N	N	N	N	N	N	N	N	N	N	C	C	P	N
	Vehicle and Equipment Sale and Rental New or Used (Heavy)	N	N	N	N	N	N	N	N	N	N	N	N	N	C	C	N	N
	Vehicle and Equipment Sale or Rental or Sale - New or Used (Light)	N	N	N	N	N	N	N	N	N	N	N	N	N	C	P	N	N
	Warehouse	N	N	N	N	N	N	N	N	N	N	N	N	C	N	P	P	N
	Warehouse Club	N	N	N	N	N	N	N	N	N	N	C	N	N	C	N	N	N
	Wholesale Distribution	N	N	N	N	N	N	N	N	N	N	C	N	C	N	P	P	N
INSTITUTIONAL	Assembly, Place of	N	C ¹	C ¹	C ¹	C ¹	C ¹	C ¹	C ¹	C ¹	C ¹	C	C	C	N	N	N	N
	Commuter and Light Rail Facilities and Station	N	N	N	N	N	N	N	N	N	N	P	P	C	C	C	C	C
	Earth Station (Satellite Dish Farm)	N	N	N	N	N	N	N	N	N	N	N	N	C	N	N	P	N

P = Permitted Use; C = Conditional Use; T = Temporary Use; N = Non-Permitted Use; X^x = Indicates Additional Standards Below

ZONING DISTRICT USES		OS	A-1	R&A-5	RE-20	R-1-15	R-1-10	R-1-8	R-2-15	HDR-1	HDR-2	RMU	FMU	BP	RC	FOI	M	PF
PUBLIC AND INSTITUTIONAL	Educational Facility	N	C	C	C	C	C	C	C	C	C	P	P	P	C	N	N	N
	Emergency Care Facility	N	N	N	N	N	N	N	N	N	N	P	P	C	N	N	N	N
	Environmental Remediation	N	N	N	N	N	N	N	N	N	N	P	P	C	C	C	C	C
	Farmers' Market	N	N	N	N	N	N	N	N	N	N	C	C	C	N	N	N	C
	Heliport	N	N	N	N	N	N	N	N	N	N	C	N	N	C	N	C	N
	Hospital	N	N	N	N	N	N	N	N	N	N	C	C	N	N	N	N	N
	Liquor Store (State Owned)	N	N	N	N	N	N	N	N	N	N	C	C	N	C	N	N	N
	Major Facility of a Public Utility	C	C	C	C	C	C	C	C	C	C	C	N	N	C	C	C	C
	Minor Facility of a Public Utility	P	P	P	P	P	P	P	P	P	P	C	C	P	C	P	P	P
	Museum	N	N	N	N	N	N	N	N	N	N	P	P	C	C	N	N	N
	Open Space and Trails	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
	Parks and Associated Facilities	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
	Park and Ride Facility	N	N	N	N	N	N	N	N	N	N	P	N	C	N	P	P	N
	Power Plant	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	N
	Public Use	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	P
	Recycling Collection Center	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	P	N
	Recycling Processing Facility	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	N
	Transit Passenger Hub (Intermodal)	N	N	N	N	N	N	N	N	N	N	P	P	N	C	C	C	C
	Wireless Telecommunications Site/Facility	N	C ²	C ²	N	N	N	N	N	N	N	C ²	C ²	C ²	N	C ²	C ²	C ²
ACCESSORY USES	Accessory Building	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N	N	N
	Accessory Dwelling Unit	N	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N	N	N
	Accessory Dwelling Unit for Owner or Employee	N	P	P	N	N	N	N	N	N	N	N	N	N	N	C	C	N
	Accessory Use	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
	Billboard	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
	Domestic Livestock and Fowl	N	P ²	P ²	N	N	N	N	N	N	N	N	N	N	N	N	N	N
	Home Day Care	N	P	P	P	P	P	P	P	P	P	N	N	N	N	N	N	N
	Home Occupation	N	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N	N	N
	Home Preschool	N	P	P	P	P	P	P	P	P	P	N	N	N	N	N	N	N
	Household Pets, Noncommercial	N	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N	N	N
	Open/Outdoor Display of Products or Merchandise	N	N	N	N	N	N	N	N	N	N	C	N	N	C	C	P	N
	Seasonal Use	T ⁵	N	N	N	N	N	N	N	N	N	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	N	N
	Sign - Temporary	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶
	Swimming Pool	P	C ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N
	Temporary Use	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵
	Tennis Court/Sports Court	C	C	C	C	C	C	C	C	C	C	N	N	N	N	N	N	C

- Religious institutions are allowed through the provision of a conditional use permit. No other assembly uses as defined in chapter 30 of this ordinance are permitted.
- See Chapter 17 for additional use development standards.
- Use is allowed as an accessory use to a principle use.

P = Permitted Use; C = Conditional Use; T = Temporary Use; N = Non-Permitted Use; X^x = Indicates Additional Standards Below

ZONING DISTRICT USES		OS	A-1	R&A-5	RE-20	R-1-15	R-1-10	R-1-8	R-2-15	HDR-1	HDR-2	RMU	FMU	BP	RC	FOI	M	PF
4	Use shall not exceed 25% of the net square footage of a single building or development.																	
5	See Chapter 13 for additional use standards.																	
6	See Chapter 24 for signage requirements.																	
7	<u>In accordance with the District Use Table above, drive-thru facilities complying with all standards listed in Section 15.34.190 Part 1 through 11 of the VZC are considered a permitted use. Drive-thru facilities containing a drive aisle between the building's front façade and the front property line shall require approval of a conditional use permit. See Part 12 of Section 15.34.190 of the VZC.</u>																	